

House for Artists

Addendum to the Design and Access Statement.

Linton Road, Barking

Application ref; 18/00555/FUL and 18/02027/NMA
Approval dated: 21st December 2018

Description of the existing approval Application for non-material amendment following grant of planning permission 18/00555/FUL: Replacement of district heating system with an air source heat pump, internal and external design changes to façade treatment and ground floor and courtyard layout.

Introduction

This statement is an Addendum to the original Design & Access Statement that accompanied the original application. The use of the building has not changed and there is no change to the accommodation provided. However there have been a number of minor amendments to the fabric which are listed below.

Proposed changes to the Drawing

The schedule on the next page lists the drawings. The first column lists the drawings that form part of the original approval. The second columns lists amended drawings and the final column identifies the minor amendments to the design.

Areas

The floors areas remain unchanged

Conclusion

We propose that all the existing drawings are withdrawn and substituted with the amended drawings listed above.

The proposed changes are minor and collectively they will not significantly impact the appearance of the buildings. The reason for the proposed changes are to aid buildability across the scheme and add stability to the structural frame.

Approved Drawing	Amended Drawing	A brief description of the amendments	Reason for change
HAB-PLN-P-00 Rev 02	HFA-CFS-CM-GF-DR-A-0P201 Rev 11 Ground floor plan	<ul style="list-style-type: none"> • Reconfiguration of internal layout • Sloping column on the ground floor entrance (grid A) changed to wider vertical columns • Columns to stair core lengthened 	<p>Most of the internal walls have been omitted to give greater flexibility of use.</p> <p>The sloping columns have been straightened to aid buildability</p> <p>Columns to stair core lengthened to aid structural stability</p>
HAB-PLN-P-01 Rev 02	HFA-CFS-RD-01-DR-A-0P202 Rev 10 First floor plan	<ul style="list-style-type: none"> • The sloping canopies have been omitted. • Changes to the fenestration (refer to elevations) • Columns to stair core lengthened 	<p>The sloping canopies have been omitted to aid buildability</p> <p>Changes to the glazing and concrete fenestrations have been incorporated to aid daylight within internal spaces</p> <p>Columns to stair core lengthened to aid structural stability</p>
HAB-PLN-P-02 Rev 02	HFA-CFS-RD-02-DR-A-0P203 Rev 12 Second floor plan	<ul style="list-style-type: none"> • Changes to the fenestration (these are shown more clearly on the elevations) • The sloping canopies have been omitted • Columns to stair core lengthened 	<p>Changes to the glazing and concrete fenestrations have been incorporated to aid daylight within internal spaces</p> <p>The sloping canopies have been omitted to aid buildability</p> <p>Columns to stair core lengthened to aid structural stability</p>
HAB-PLN-P-03 Rev 02	HFA-CFS-RD-03-DR-A-0P204 Rev 11 Third floor plan	<ul style="list-style-type: none"> • Changes to the fenestration (these are shown more clearly on the elevations) • The sloping canopies have been omitted • Columns to stair core lengthened 	<p>Changes to the glazing and concrete fenestrations have been incorporated to aid daylight within internal spaces</p> <p>The sloping canopies have been omitted to aid buildability</p> <p>Columns to stair core lengthened to aid structural stability</p>
HAB-PLN-P-04 Rev 02	HFA-CFS-RD-03-DR-A-0P205 Rev 10 Fourth floor plan	<ul style="list-style-type: none"> • Changes to the fenestration (these are shown more clearly on the elevations) • The sloping canopies have been omitted • Columns to stair core lengthened 	<p>Changes to the glazing and concrete fenestrations have been incorporated to aid daylight within internal spaces</p> <p>The sloping canopies have been omitted to aid buildability</p> <p>Columns to stair core lengthened to aid structural stability</p>

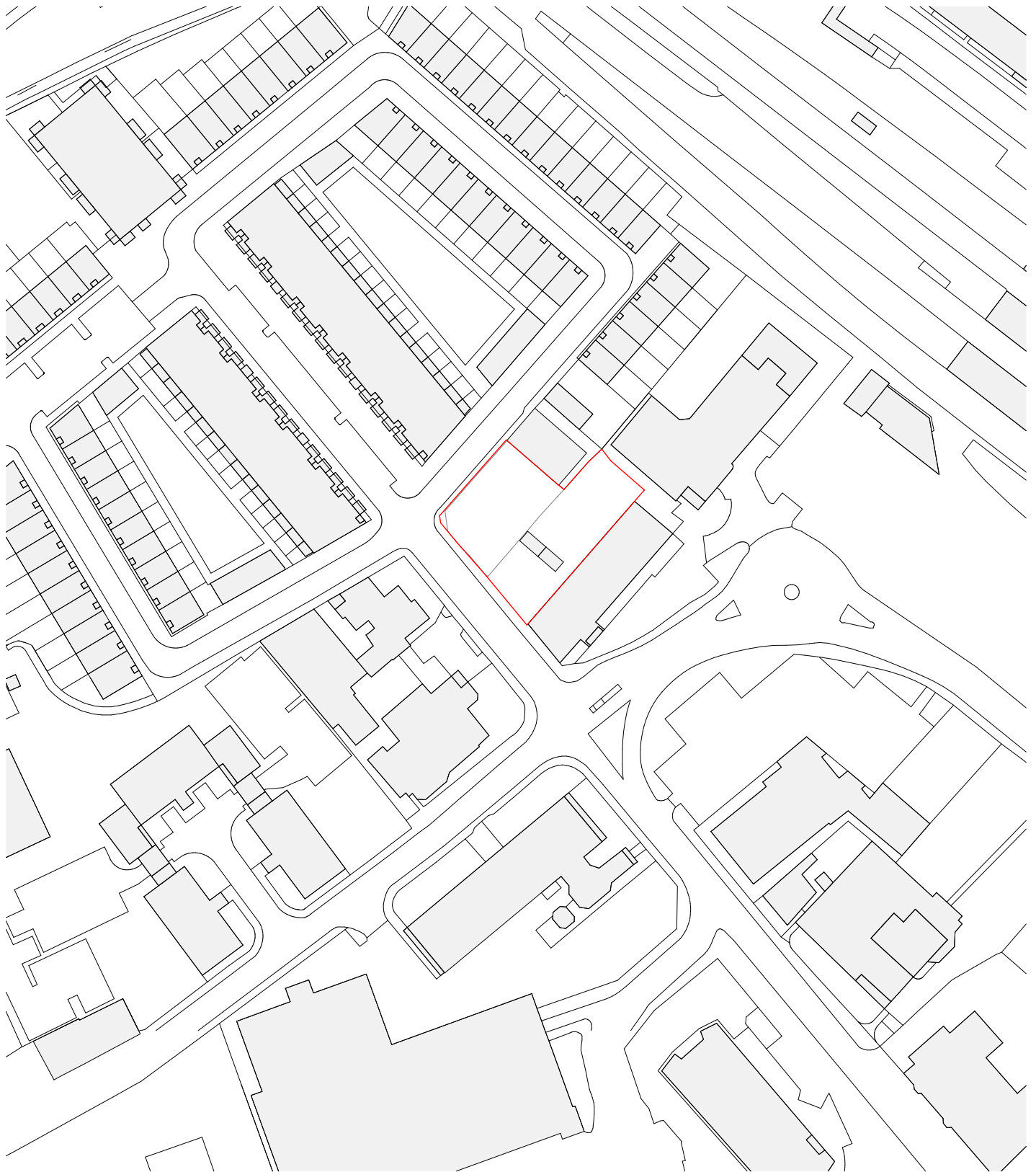
<p>HAB-PLN-P-RF Rev 02</p>	<p>HFA-CFS-RD-RF-DR-A-0P206 Rev 09 Roof plan</p>	<ul style="list-style-type: none"> • Roof access hatch moved • Roof lights have reduced in number from 7no to 5no • PV output reduced • Roof structure infill removed 	<p>Roof access hatch moved to provide a safer access point for maintenance.</p> <p>Roof lights have reduced in number to aid buildability</p> <p>PV output reduced from 17.60 kWp down to 7kWp due to an advanced model based on the current design (refer to revised energy strategy)</p> <p>The roof infills to the sloped structures at roof level have been removed to allow for ventilation to the mechanical unit</p>
<p>HAB-PLN-E-N1 Rev 02</p>	<p>HFA-CFS-ZZ-ZZ-DR-A-0P301 Rev 09 North elevation</p>	<ul style="list-style-type: none"> • The height of Third floor reduced to match the other floors • Sloping canopy removed • New openings added to the concrete to let light into flats Gridline C/D • Sloping columns on the ground floor changed to vertical (grid A) • Ground floor windows are now shown on the drawing • Parapet height has reduced from 18m to 17.505m (reduction of 495mm) • Railings added to third floor upstand 	<p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p> <p>The sloping canopies have been omitted to aid buildability</p> <p>New openings added to the concrete to let light into flats 4,7 & 10. Where windows have been omitted to flats 4, 7 & 10 to the East elevation, new openings and windows have been added to the North elevation within the same units. This is allow these windows to be openable and help improve daylight where windows have been omitted.</p> <p>Sloping columns to the ground floor have been amended to aid buildability</p> <p>Changes to the glazing and concrete fenestrations have been incorporated to aid daylight within internal spaces</p> <p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p> <p>Railings added to third floor upstand due to change in level on the third floor</p>
<p>HAB-PLN-E-N2 Rev 02</p>	<p>HFA-CFS-ZZ-ZZ-DR-A-0P305 Rev 08 North elevation walkway</p>	<ul style="list-style-type: none"> • Fenestration changed • Windows added to the flats 6 (West elevation) 4, 7 & 10 (East elevation) • Kitchen window changed • Parapet height has reduced from 18m to 17.505m (reduction of 495mm) 	<p>Changes to the glazing fenestrations have been incorporated to aid daylight within internal spaces. Windows have added to flat unit 6 where the window on the West elevation has been omitted.</p> <p>Where windows have been omitted to flats 4, 7 & 10 along the East elevation, new openings and windows have been added to the North elevation within the same units. This is allow these windows to be openable and help improve daylight where windows have been omitted.</p>

			<p>The sloping wall to the kitchen at ground floor has been removed and full height glazing has been introduced to aid flexibility of the spaces</p> <p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p>
HAB-PLN-E-E Rev 02	HFA-CFS-ZZ-ZZ-DR-A-0P303 Rev 08 East elevation	<ul style="list-style-type: none"> Sloping canopies removed Windows omitted from the flats 4, 7 & 10 Parapet height has reduced from 18m to 17.505m (reduction of 4955mm) Window added to the east elevation by the southern walkway to unit 4 	<p>The sloping canopies have been omitted to aid buildability</p> <p>Windows on the East elevations have been removed although additional glazing on the North elevation has been introduced so the internal spaces achieve the sufficient daylight factor.</p> <p>The windows on the approved scheme were within 1.8m of an escape stair and therefore fixed shut. The proposal to move the windows to the North elevation allow the windows to all bedroom spaces to be openable</p> <p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p> <p>Window added to the east elevation by the southern walkway to unit 4 to provide additional daylight to the living space</p>
HAB-3-A-E-S1 Rev 02	HFA-CFS-ZZ-ZZ-DR-A-0P302 Rev 09 South elevation	<ul style="list-style-type: none"> The height of Third floor reduced in line with the other floors Parapet height has reduced from 18m to 17.505m (reduction of 495mm) Sloping canopy removed Railings added to third floor upstand Sloping column on the ground floor (grid A) changed to vertical 	<p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p> <p>The sloping canopies have been omitted to aid buildability</p> <p>Railings added to third floor upstand due to change in level on the third floor</p> <p>Sloping column on the ground floor entrance (grid A) changed to wider vertical column</p>
HAB-PLN-E-S2 Rev 02	HFA-CFS-ZZ-ZZ-DR-A-0P306 Rev 08 South elevation walkway	<ul style="list-style-type: none"> Minor changes to fenestration Sloping canopies omitted 	<p>Minor changes to window fenestrations where widows are slightly larger and ransoms added.</p> <p>The sloping canopies have been omitted to aid buildability</p>

		<ul style="list-style-type: none"> Parapet height has reduced from 18m to 17.505m (reduction of 495mm) 	The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability
HAB-PLN-E-W West elevation Rev 02	HFA-CFS-ZZ-ZZ-DR-A-0P304 Rev 10 West elevation	<ul style="list-style-type: none"> Window second floor omitted to unit 6 Ground floor windows are now depicted on the drawing Sloping canopies omitted Parapet height has reduced from 18m to 17.505m (reduction of 495mm) 	<p>Window on the second floor omitted as there is now an additional opening within the concrete on the North elevation to account for any reduction in daylight</p> <p>The sloping canopies have been omitted to aid buildability</p> <p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p>
HAB-PLN-S-A Rev 02	HFA-CFS-ZZ-ZZ-DR-A-0P307 Rev 06 Section A	<ul style="list-style-type: none"> Sloping canopies omitted Parapet height has reduced from 18m to 17.505m (reduction of 495mm) 	<p>The sloping canopies have been omitted to aid buildability</p> <p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p>
HAB-PLN-S-B Rev 02	HFA-CFS-ZZ-ZZ-DR-A-0P308 Rev 06 Section B	<ul style="list-style-type: none"> Sloping canopies omitted Parapet height has reduced from 18m to 17.505m (reduction of 495mm) 	<p>The sloping canopies have been omitted to aid buildability</p> <p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p>
HAB-PLN-S-C Rev 02	HFA-CFS-ZZ-ZZ-DR-A-0P309 Rev 04 Section C	<ul style="list-style-type: none"> Sloping canopies omitted Parapet height has reduced from 18m to 17.505m (reduction of 495mm) 	<p>The sloping canopies have been omitted to aid buildability</p> <p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p>
HAB-PLN-S-D Rev 02	HFA-CFS-ZZ-ZZ-DR-A-0P310 Rev 04 Section D	<ul style="list-style-type: none"> Sloping canopies omitted Parapet height has reduced from 18m to 17.505m (reduction of 495mm) 	<p>The sloping canopies have been omitted to aid buildability</p> <p>The overall height of building has been lowered to create similar floor to ceiling heights and aid buildability</p>

Appendix A

Approved Drawings



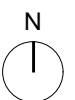
APPARATA

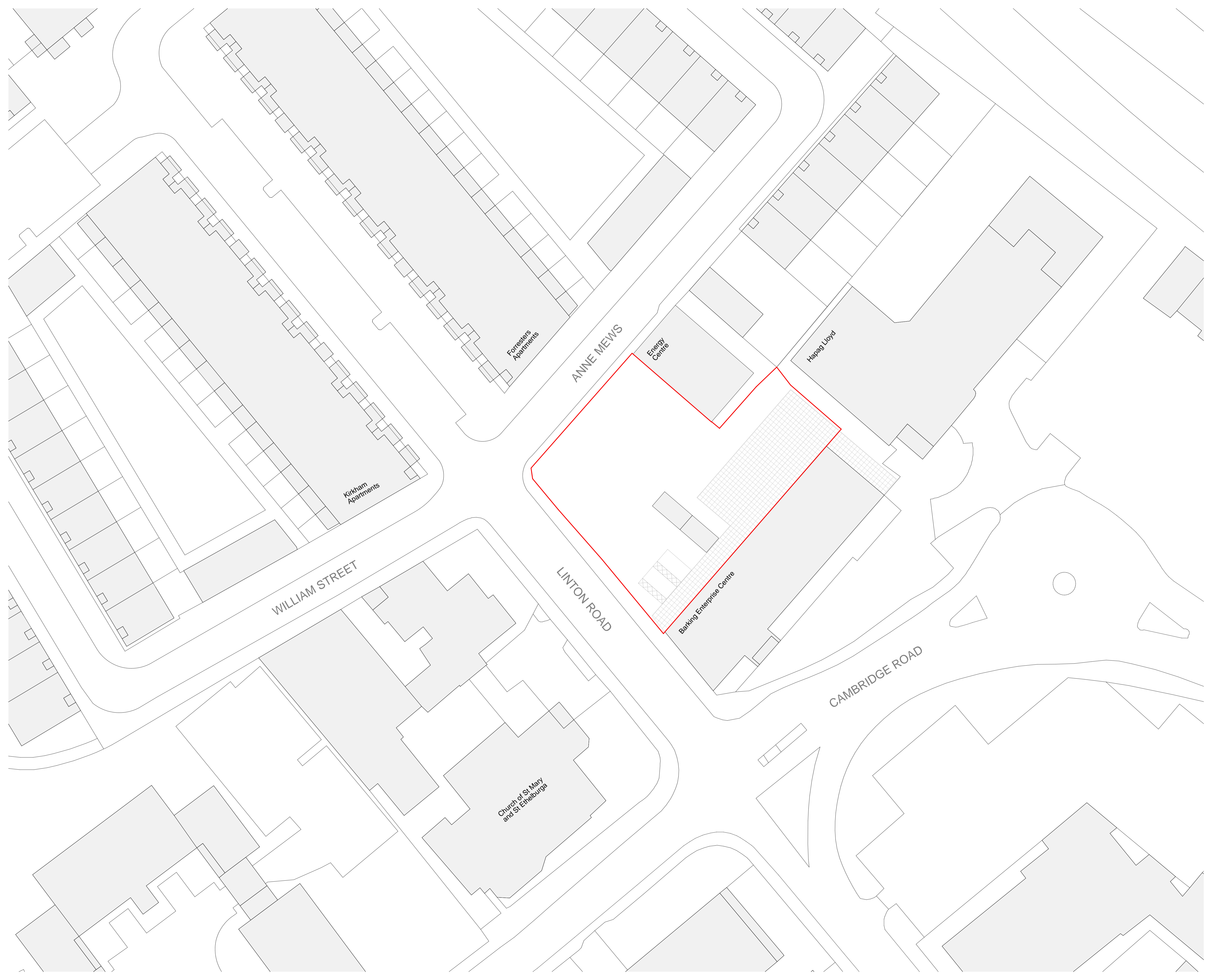
Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Drawing title: Location plan
Status: PLANNING
Drawing Nr.: HAB-PLN-P-LO

Project: **House for Artists**
Linton Road, Barking
Client: BeFirst, London Borough of Barking and Dagenham

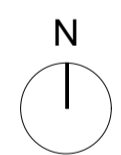
Scale: 1:1250 (at A4)
Date: 27.03.18
Revision:





1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

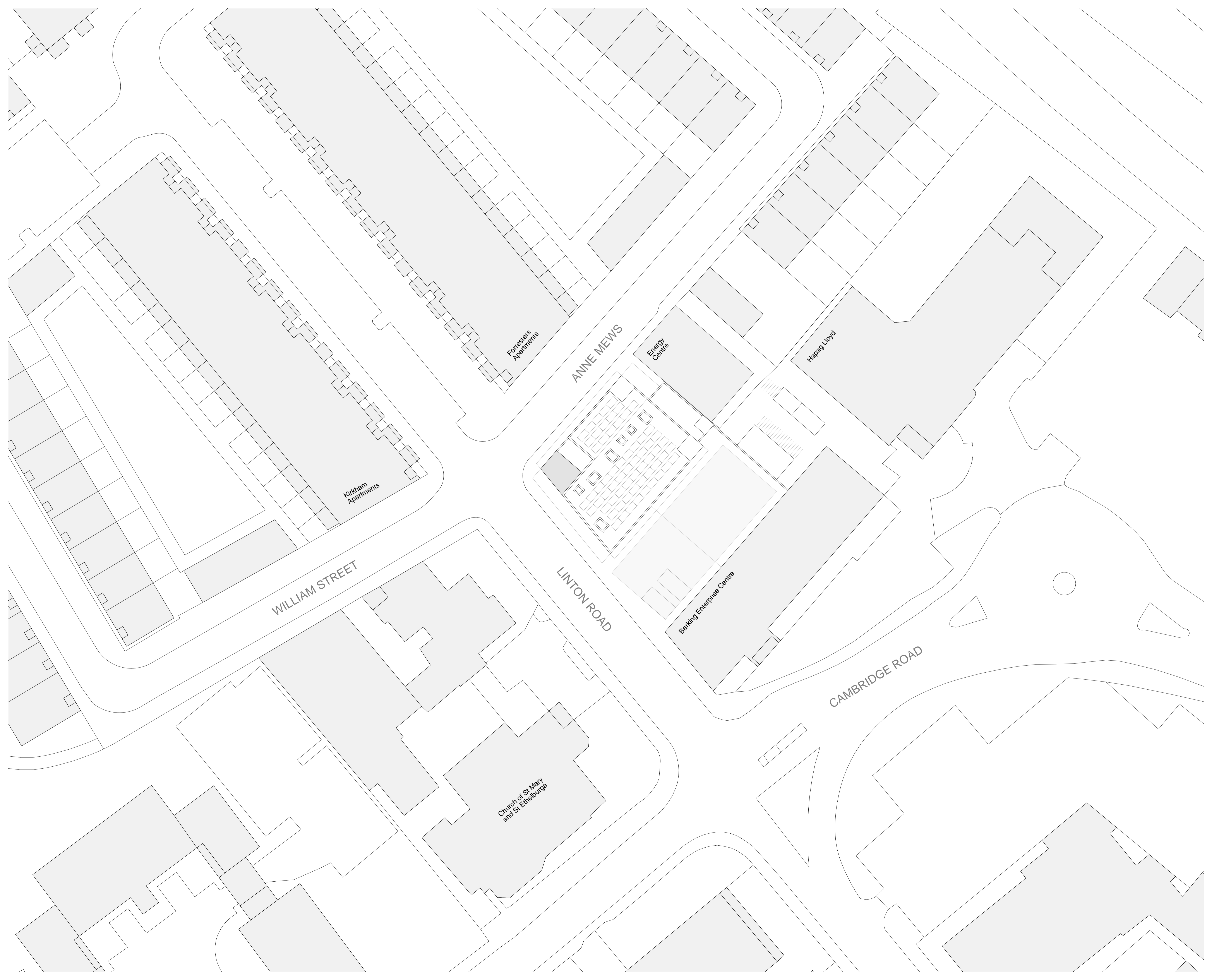
Rev.	Date	Description

APPARATA
 Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
 Linton Road, Barking
 Client: **BeFirst, London Borough of Barking and Dagenham**

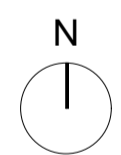
Drawing title: **Site plan existing**
 Status: **PLANNING**

Scale:	1:250 (at A1) 1:500 (at A3)
Date:	21.11.18
Drawing Nr.:	HAB-PLN-P-SI-EX
Revision:	02
Drawn by:	Checked by:



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Rev.	Date	Description

APPARATA
 Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
 Linton Road, Barking
 Client: **Befirst, London Borough of Barking and Dagenham**

Drawing title: **Site plan proposed**
 Status: **PLANNING**

Scale: 1:250 (at A1)
 1:500 (at A3)
 Date: 21.11.18
 Drawing Nr.: **HAB-PLN-P-SI-PR**
 Revision: 02
 Drawn by:
 Checked by:

Kirkham Apartments

Forresters Apartments

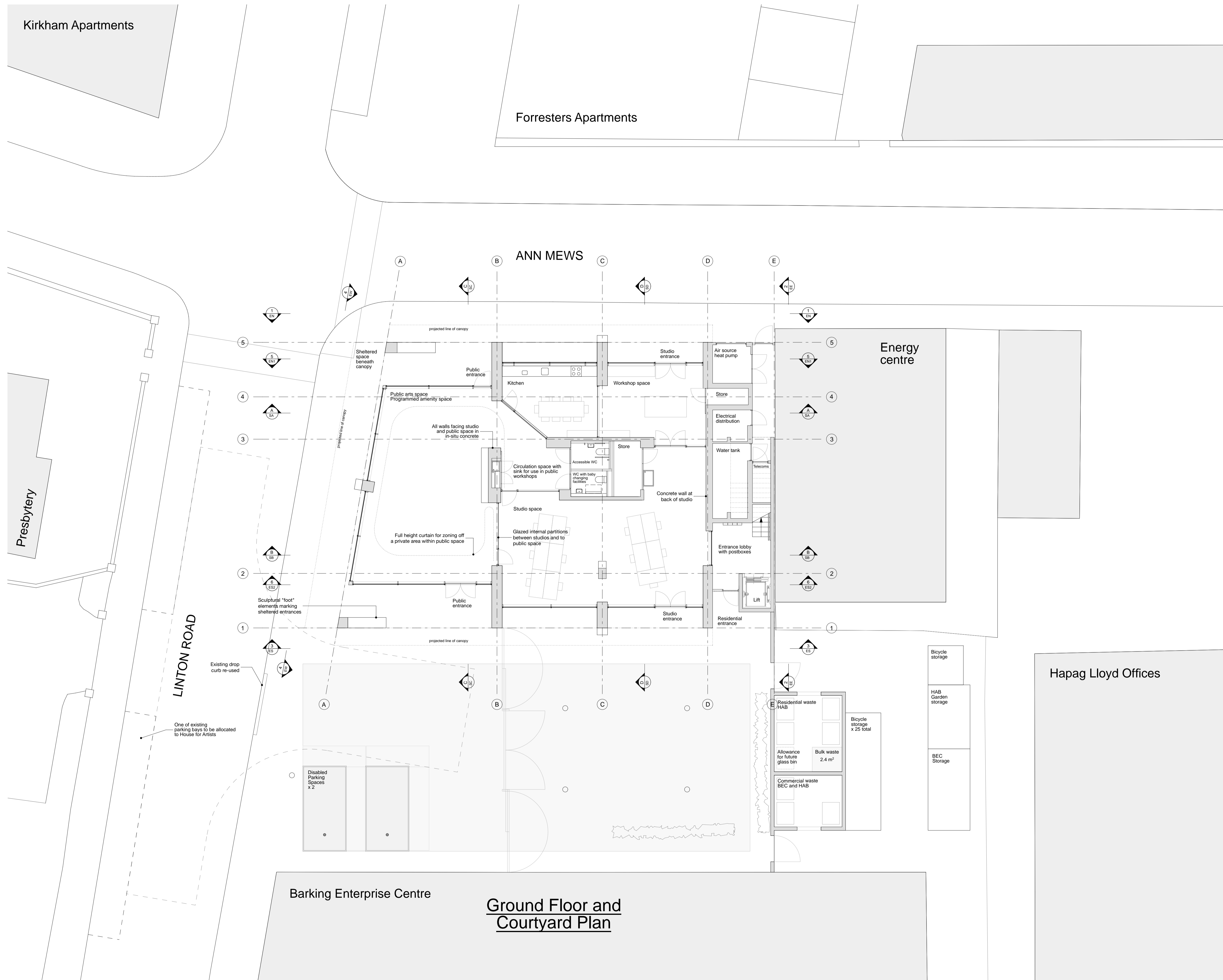
Presbytery

LINTON ROAD

Barking Enterprise Centre

ANN MEWS Ground Floor and Courtyard Plan

Hapag Lloyd Offices



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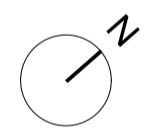
Public Space
The ground floor will host a range of public events including art workshops, film screenings and community meetings.
The ground floor provides:
- a flexible hall visible from the street
- a curtain for zoning off a private area
- infrastructure including kitchen, toilets and storage

Studio Space
The studio space on the ground floor is shared between the residents and is communal. Infrastructure is shared with the public space. Room uses are flexible with lockable doors for security between the public space and the studio space.

Entrance to apartments
The circulation to the apartments is accessed via the courtyard through a secure entrance door at ground level. The main entrance opens on to a lobby space with lift, stair and post boxes.

Glazed partitions
With glass partitions and doors between the public space and the studio spaces, there is an easy connection between the two, enabling workshops to take place in the studio area if required. The glazed partitions and generous external glazing enable a blurring between internal and external spaces and between public and studio spaces, but always with the flexibility to separate from each other.

Courtyard
The courtyard is shared between the House for Artists and the Barking Enterprise Centre (BEC). It provides:
- 2 disabled parking spaces
- Bin storage for House for Artists and BEC
- Bicycle storage for House for Artists and BEC
- Public amenity space in region of ground floor public space
- Private amenity space
Please note the location of lampposts is provisional



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Project: **House for Artists**
Linton Road, Barking
Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: Ground floor plan
Status: PLANNING

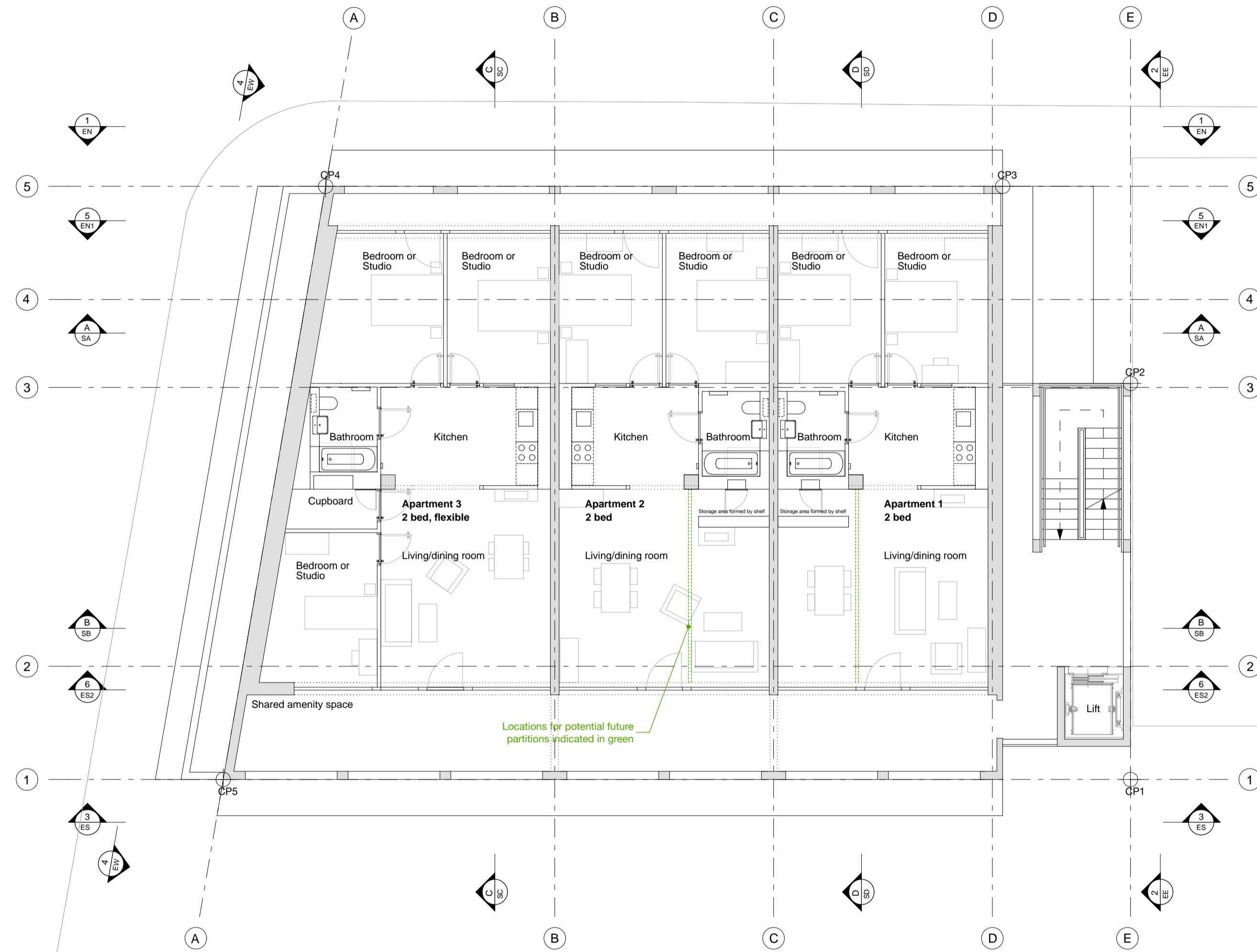
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Date: 21.11.18
Drawing Nr.: HAB-PLN-P-00
Revision: 02
Drawn by:
Checked by:

Kirkham Apartments

Forresters Apartments

Presbytery



First Floor Plan

Apartments
12 apartments of varying sizes in the House for Artists offer a high degree of flexibility

Adaptability:
- By having robust fire escape routes not reliant on corridors, tenants can add and remove walls without impeding fire safety (see green lines)
- Raw finishes enable the tenants to influence their own space to fit their needs
- Services in raised floor to enable access for repair and future adaptation

Flexibility:
- The apartments can become live-work units by designating a bedroom as a studio.
- This is made possible by having raw finishes, room sizes and openings that do not predefine the use of the room

Co-housing:
- One floor will be predefined as co-housing and fitted out with double doors between apartments to optionally expand and share living spaces
- Optional future co-housing units are possible on all floors to enable future sharing and future adaptation

Circulation
- The building is organised along lines of co-housing and positive shared spaces including shared external balconies.
- Three apartments each share a generous outdoor terrace as a walkway and as an amenity space.
- Due to the small number of apartments per floor there will be a particularly strong level of familiarity between residents on same floor.

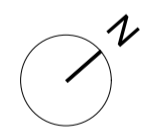
Energy centre

Hapag Lloyd Offices

Barking Enterprise Centre

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APPARATA
Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
Linton Road, Barking
Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: First floor plan
Status: PLANNING

Scale: 1:100 (at A1)
1:200 (at A3)

Date: 21.11.18

Drawing Nr.: HAB-PLN-P-01

Revision: 02

Drawn by:

Checked by:

Kirkham Apartments

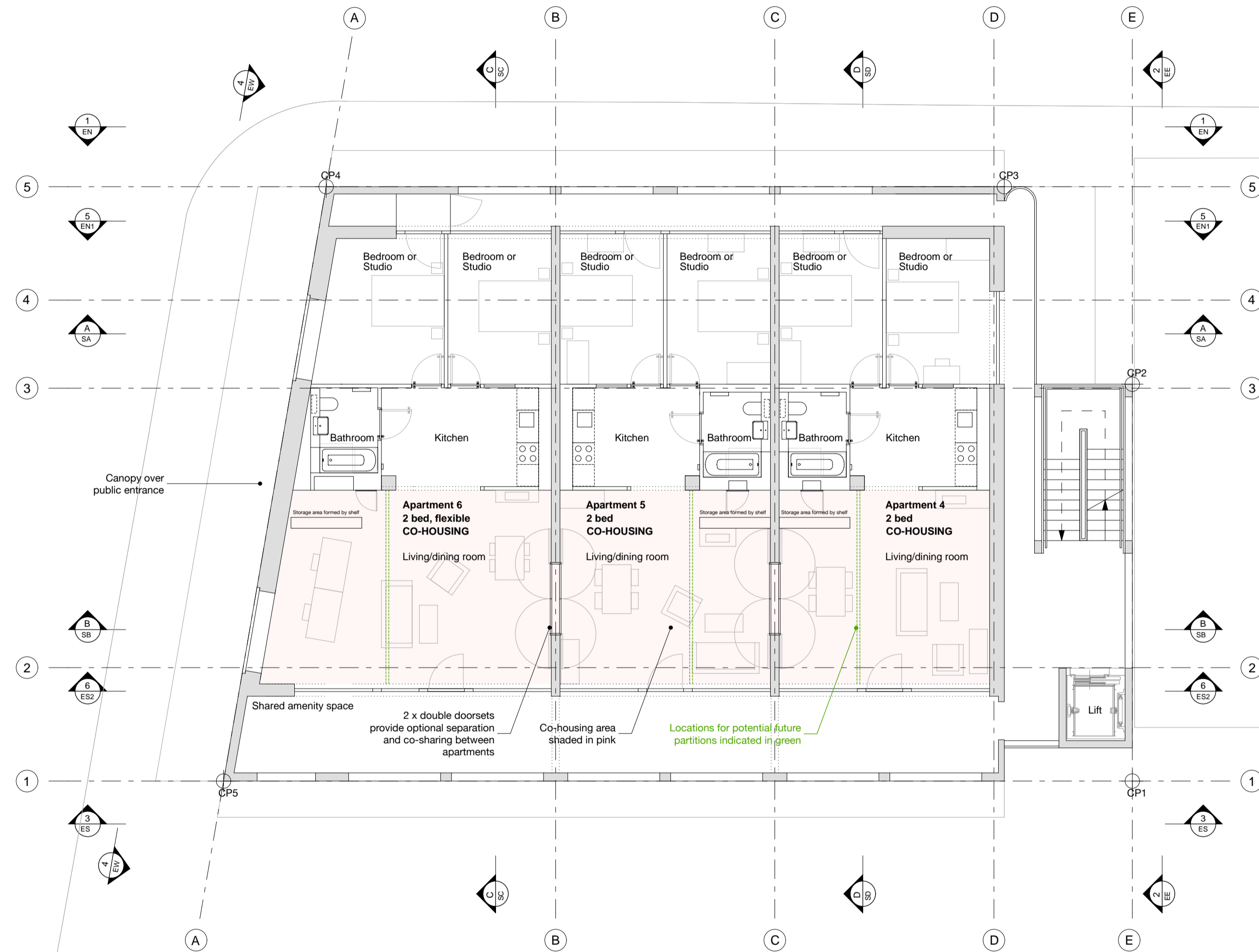
Forresters Apartments

Presbytery

Energy centre

Hapag Lloyd Offices

Barking Enterprise Centre



Second Floor Plan

Apartments
12 apartments of varying sizes in the House for Artists offer a high degree of flexibility

Adaptability:
- By having robust fire escape routes not reliant on corridors, tenants can add and remove walls without impeding fire safety (see green lines)
- Raw finishes enable the tenants to influence their own space to fit their needs
- Services in raised floor to enable access for repair and future adaptation

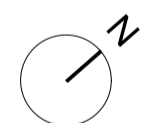
Flexibility:
- The apartments can become live-work units by designating a bedroom as a studio.
- This is made possible by having raw finishes, room sizes and openings that do not predefine the use of the room

Co-housing:
- One floor will be predefined as co-housing and fitted out with double doors between apartments to optionally expand and share living spaces
- Optional future co-housing units are possible on all floors to enable future sharing and future adaptation

Circulation
- The building is organised along lines of co-housing and positive shared spaces including shared external balconies.
- Three apartments each share a generous outdoor terrace as a walkway and as an amenity space.
- Due to the small number of apartments per floor there will be a particularly strong level of familiarity between residents on same floor.

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Project: **House for Artists**
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Drawing title: Second floor plan
Status: PLANNING

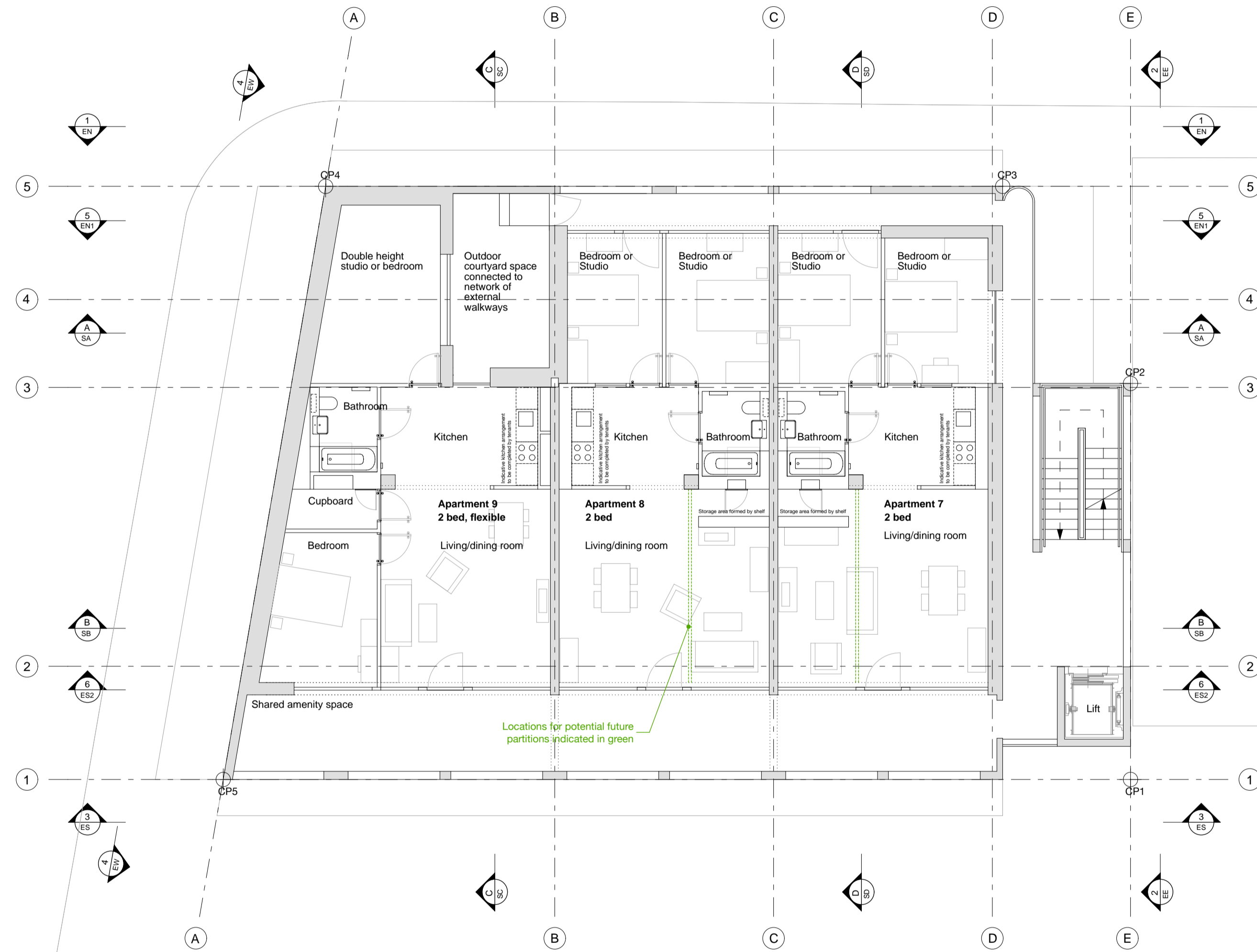
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Date: 21.11.18
Drawing Nr.: HAB-PLN-P-02
Revision: 02
Drawn by:
Checked by:

Kirkham Apartments

Forresters Apartments

Presbytery



Third Floor Plan

Apartments
12 apartments of varying sizes in the House for Artists offer a high degree of flexibility

Adaptability:
- By having robust fire escape routes not reliant on corridors, tenants can add and remove walls without impeding fire safety (see green lines)
- Raw finishes enable the tenants to influence their own space to fit their needs
- Services in raised floor to enable access for repair and future adaptation

Flexibility:
- The apartments can become live-work units by designating a bedroom as a studio.
- This is made possible by having raw finishes, room sizes and openings that do not predefine the use of the room

Co-housing:
- One floor will be predefined as co-housing and fitted out with double doors between apartments to optionally expand and share living spaces
- Optional future co-housing units are possible on all floors to enable future sharing and future adaptation

Circulation
- The building is organised along lines of co-housing and positive shared spaces including shared external balconies.
- Three apartments each share a generous outdoor terrace as a walkway and as an amenity space.
- Due to the small number of apartments per floor there will be a particularly strong level of familiarity between residents on same floor.

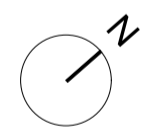
Energy centre

Hapag Lloyd Offices

Barking Enterprise Centre

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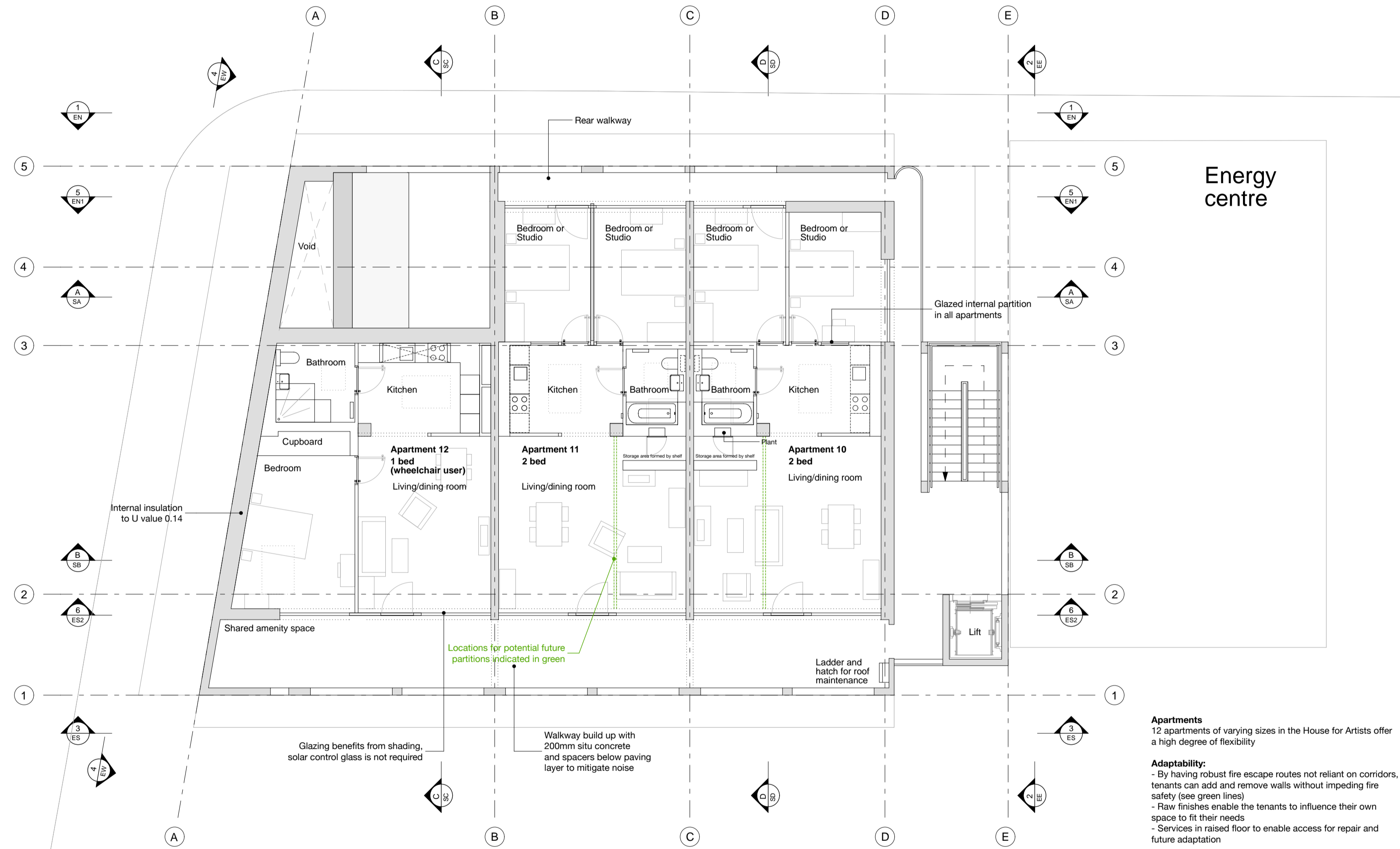
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Status: PLANNING

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Date: 21.11.18
Drawing Nr.: HAB-PLN-P-03
Revision: 02
Drawn by:
Checked by:

Kirkham Apartments

Forresters Apartments

Presbytery



Fourth Floor Plan

Apartments
12 apartments of varying sizes in the House for Artists offer a high degree of flexibility

Adaptability:
- By having robust fire escape routes not reliant on corridors, tenants can add and remove walls without impeding fire safety (see green lines)
- Raw finishes enable the tenants to influence their own space to fit their needs
- Services in raised floor to enable access for repair and future adaptation

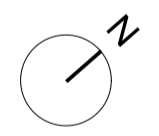
Flexibility:
- The apartments can become live-work units by designating a bedroom as a studio.
- This is made possible by having raw finishes, room sizes and openings that do not predefine the use of the room

Co-housing:
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- Optional future co-housing units are possible on all floors to enable future sharing and future adaptation

Circulation
- The building is organised along lines of co-housing and positive shared spaces including shared external balconies.
- Three apartments each share a generous outdoor terrace as a walkway and as an amenity space.
- Due to the small number of apartments per floor there will be a particularly strong level of familiarity between residents on same floor.

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



Hapag Lloyd Offices

Barking Enterprise Centre

REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev.	Date	Description

APPARATA
Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
Linton Road, Barking
Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: Fourth floor plan
Status: PLANNING

Scale: 1:100 (at A1)
1:200 (at A3)
Date: 21.11.18
Drawing Nr.: HAB-PLN-P-04
Revision: 02
Drawn by:
Checked by:

Kirkham Apartments

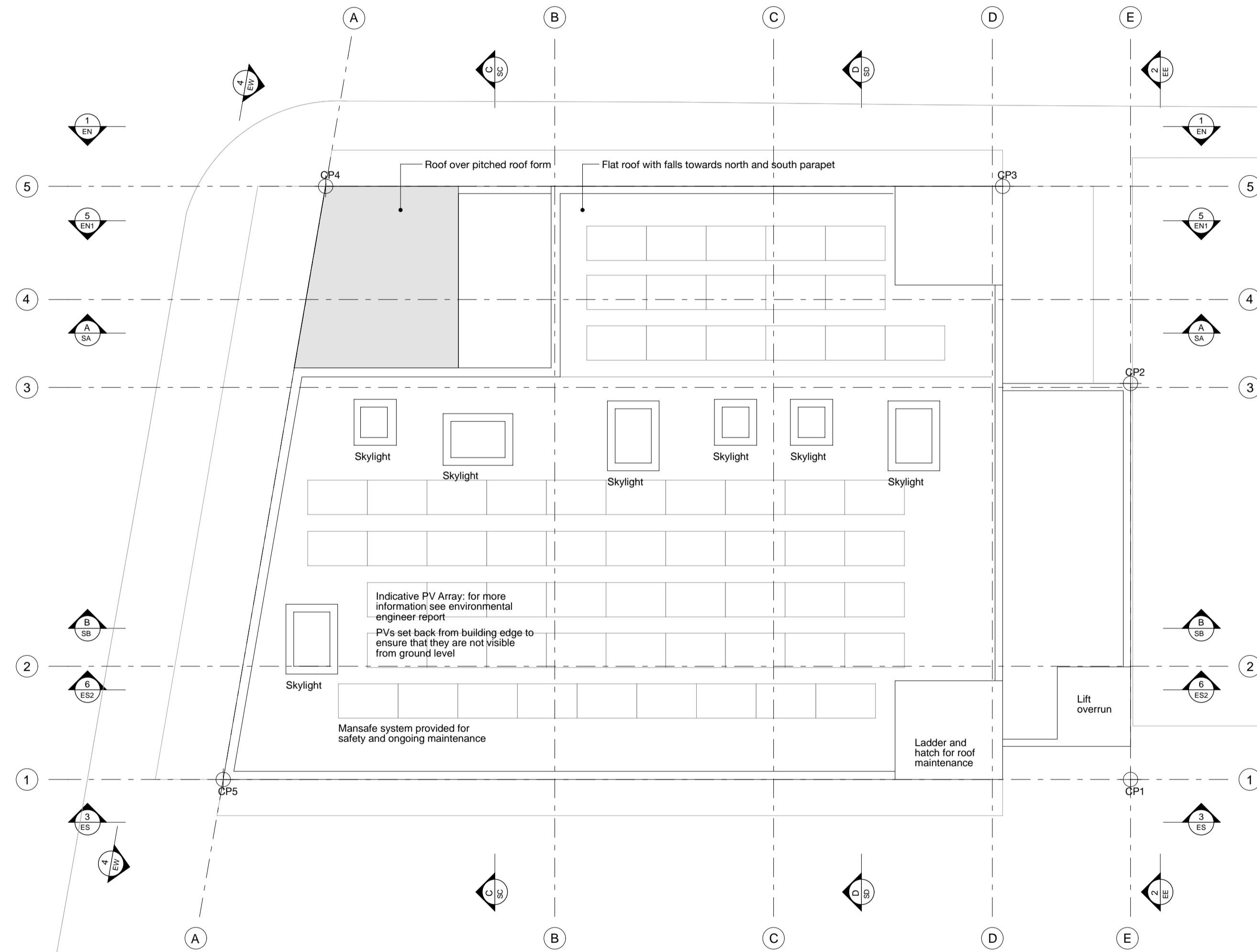
Forresters Apartments

Presbytery

Energy centre

Hapag Lloyd Offices

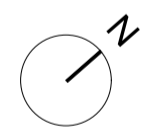
Barking Enterprise Centre



Roof Plan

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev. Date Description

APPARATA
Old Manor Park Library London E12 5JY | mail@apparata.co.uk

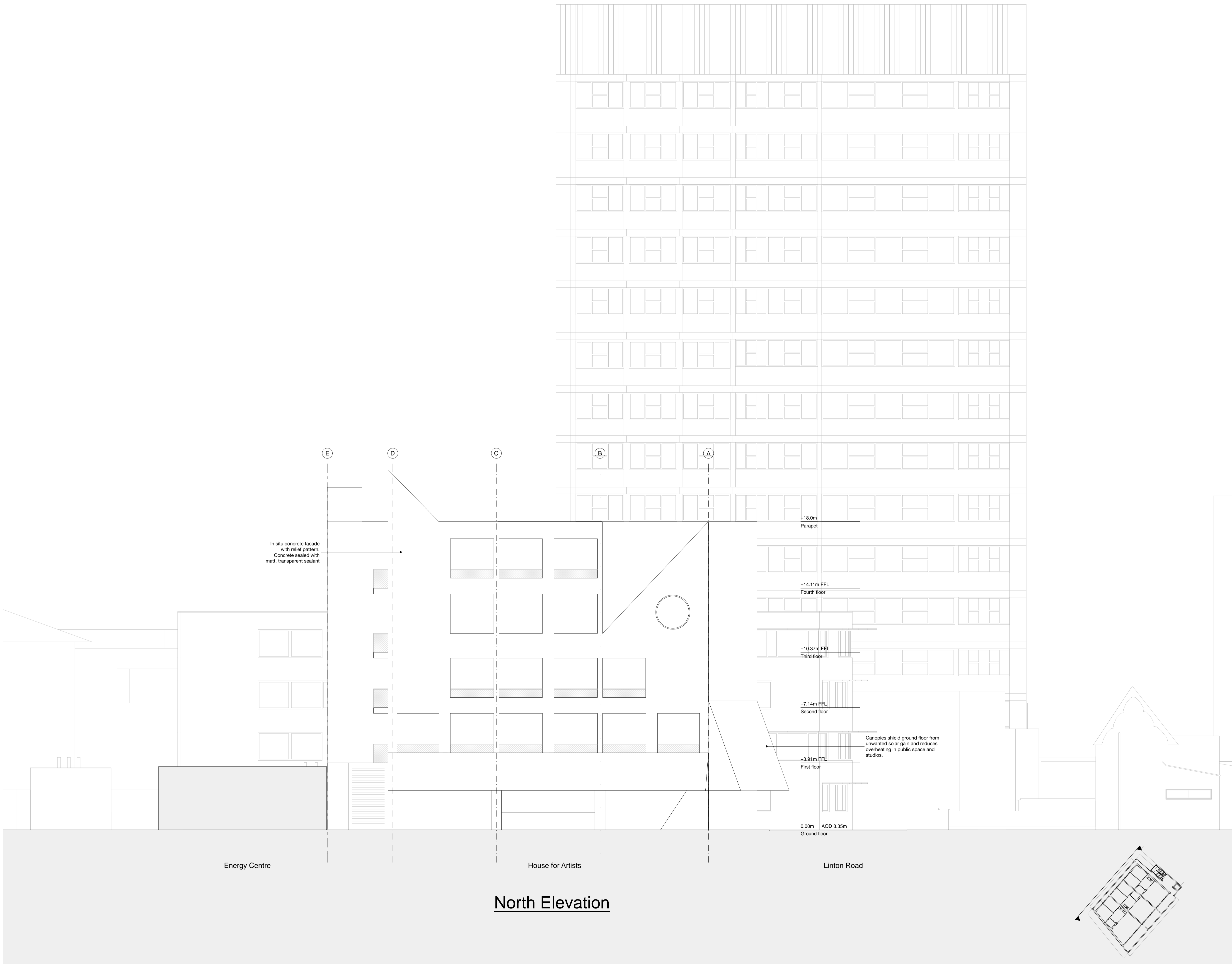
Project: **House for Artists**
Client: Linton Road, Barking
BeFirst, London Borough of Barking and Dagenham

Drawing title: Roof plan
Status: PLANNING

Scale: 1:100 (at A1)
1:200 (at A3)
Date: 21.11.18
Drawing Nr.: HAB-PLN-P-RF
Revision: 02
Drawn by:
Checked by:

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



In situ concrete facade with relief pattern. Concrete sealed with matt, transparent sealant

+18.0m Parapet

+14.11m FFL Fourth floor

+10.37m FFL Third floor

+7.14m FFL Second floor

+3.91m FFL First floor

0.00m AOD 8.35m Ground floor

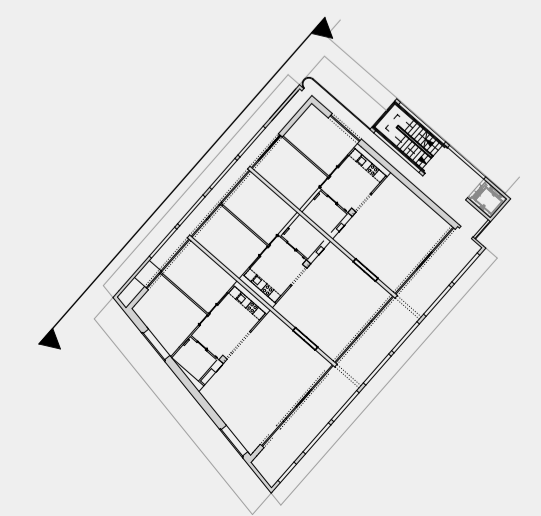
Canopies shield ground floor from unwanted solar gain and reduces overheating in public space and studios.

Energy Centre

House for Artists

Linton Road

North Elevation



REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev.	Date	Description
------	------	-------------

APPARATA
Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
Linton Road, Barking
Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: Elevation North
Status: PLANNING

Scale: 1:100 (at A1)
1:200 (at A3)
Date: 21.11.18
Drawing Nr.: HAB-PLN-E-N1
Revision: 02
Drawn by:
Checked by:

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:

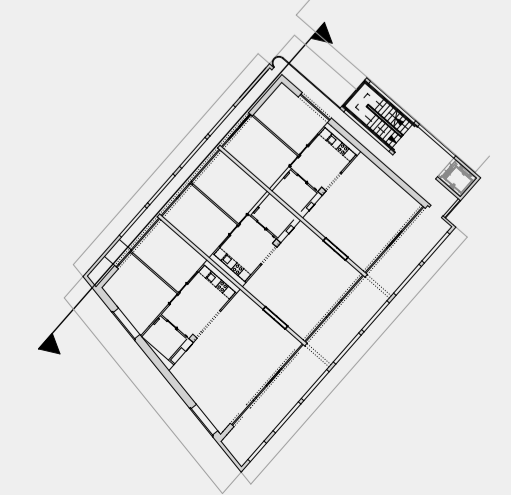


Energy Centre

House for Artists

Linton Road

**North Elevation
(walkway)**



REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev. Date Description

APPARATA
Old Manor Park Library London E12 5JY | mail@apparata.co.uk

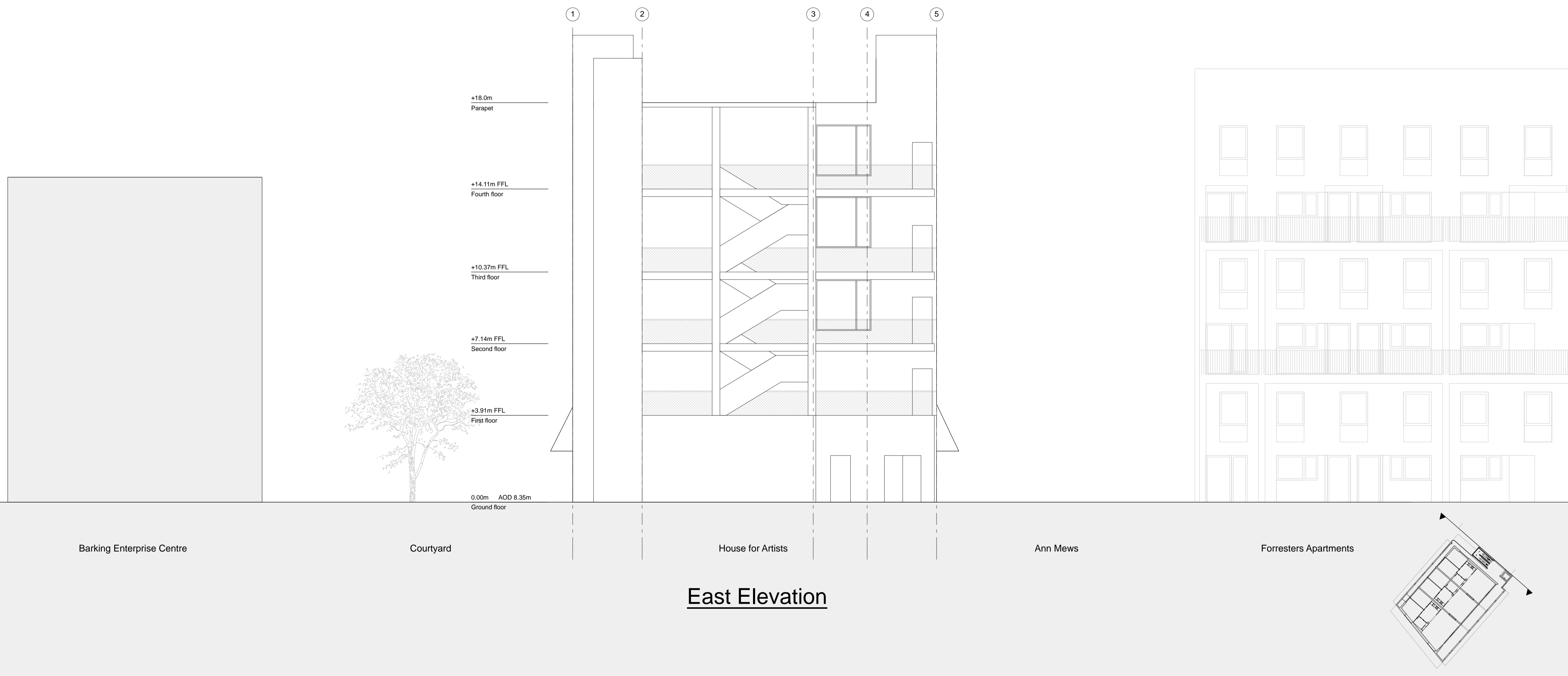
Project: **House for Artists**
Linton Road, Barking
Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: Elevation North - Walkway Elevation
Status: PLANNING

Scale: 1:100 (at A1)
1:200 (at A3)
Date: 21.11.18
Drawing Nr.: HAB-PLN-E-N2
Revision: 02
Drawn by:
Checked by:

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



East Elevation

REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev.	Date	Description

APPARATA
 Old Manor Park Library London E12 5JY | mail@apparata.co.uk

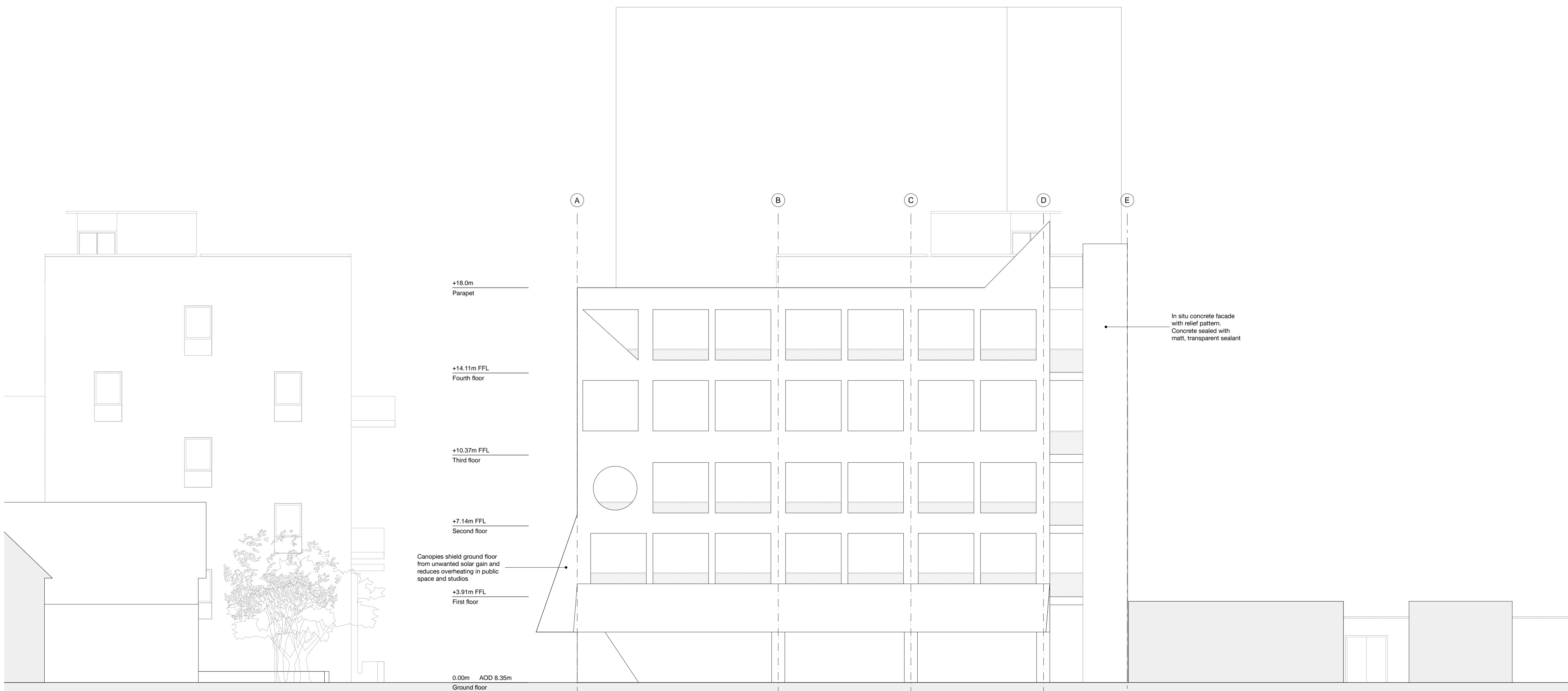
Project: **House for Artists**
 Linton Road, Barking
 Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: Elevation East
 Status: PLANNING

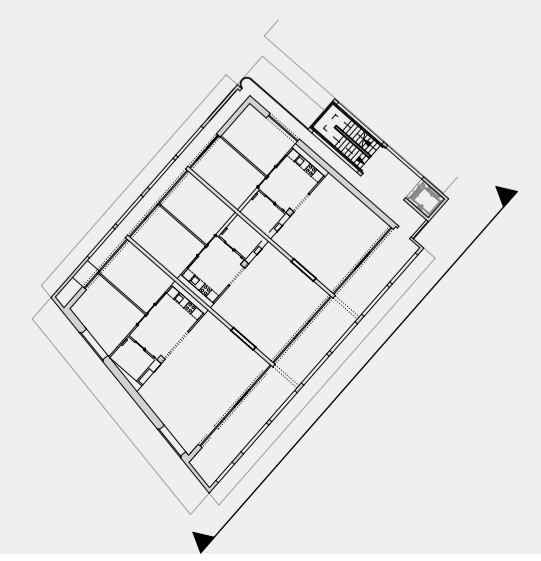
Scale: 1:100 (at A1)
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 Date: 21.11.18
 Drawing Nr.: HAB-PLN-E-E
 Revision: 02
 Drawn by:
 Checked by:

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



South Elevation



REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev.	Date	Description

APPARATA
 Old Manor Park Library London E12 5JY | mail@apparata.co.uk

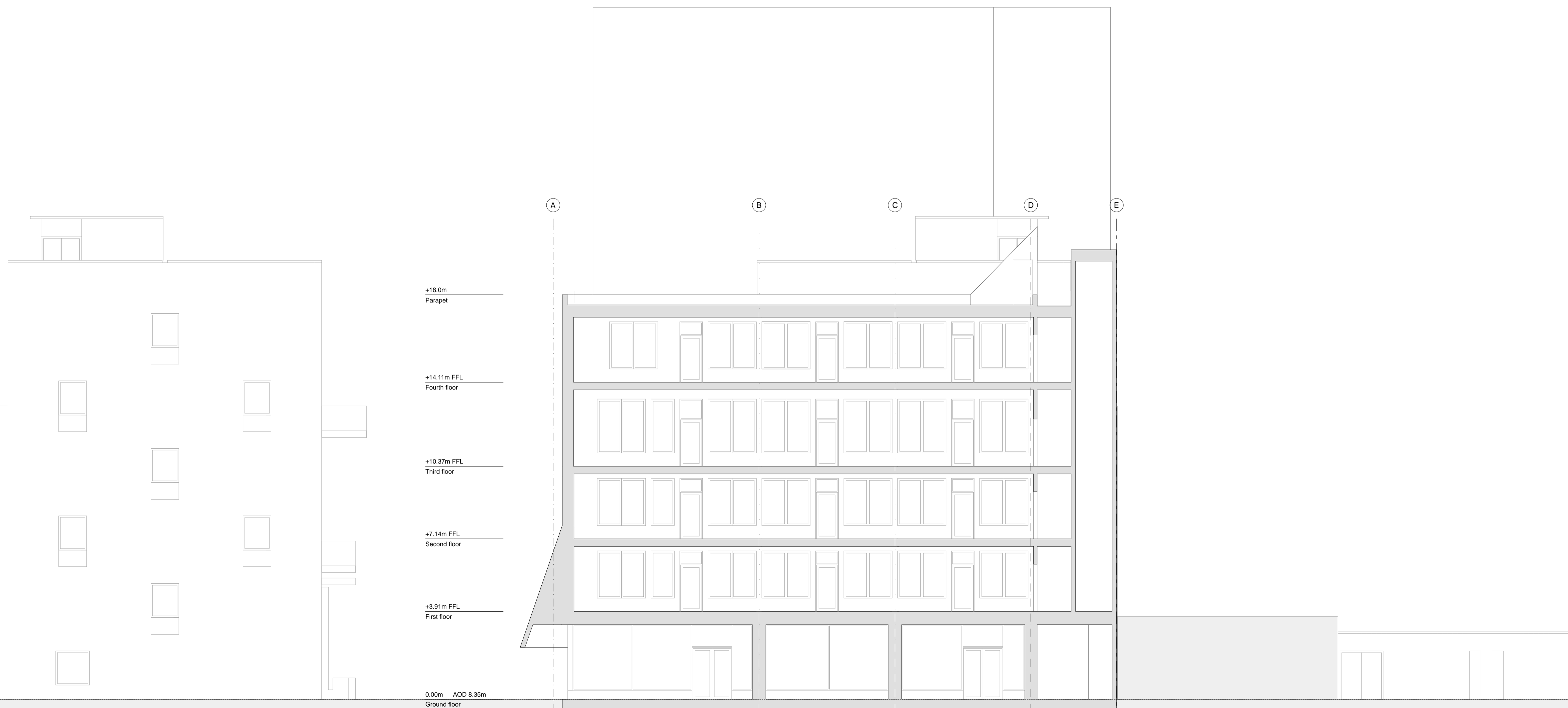
Project: **House for Artists**
 Linton Road, Barking
 Client: **BeFirst, London Borough of Barking and Dagenham**

Drawing title: **Elevation South**
 Status: **PLANNING**

Scale: 1:100 (at A1)
 1:200 (at A3)
 Date: 21.11.18
 Drawing Nr.: HAB-3-A-E-S1
 Revision: 02
 Drawn by:
 Checked by:

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



**South Elevation
(walkway)**

REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev.	Date	Description

APPARATA
Old Manor Park Library London E12 5JY | mail@apparata.co.uk

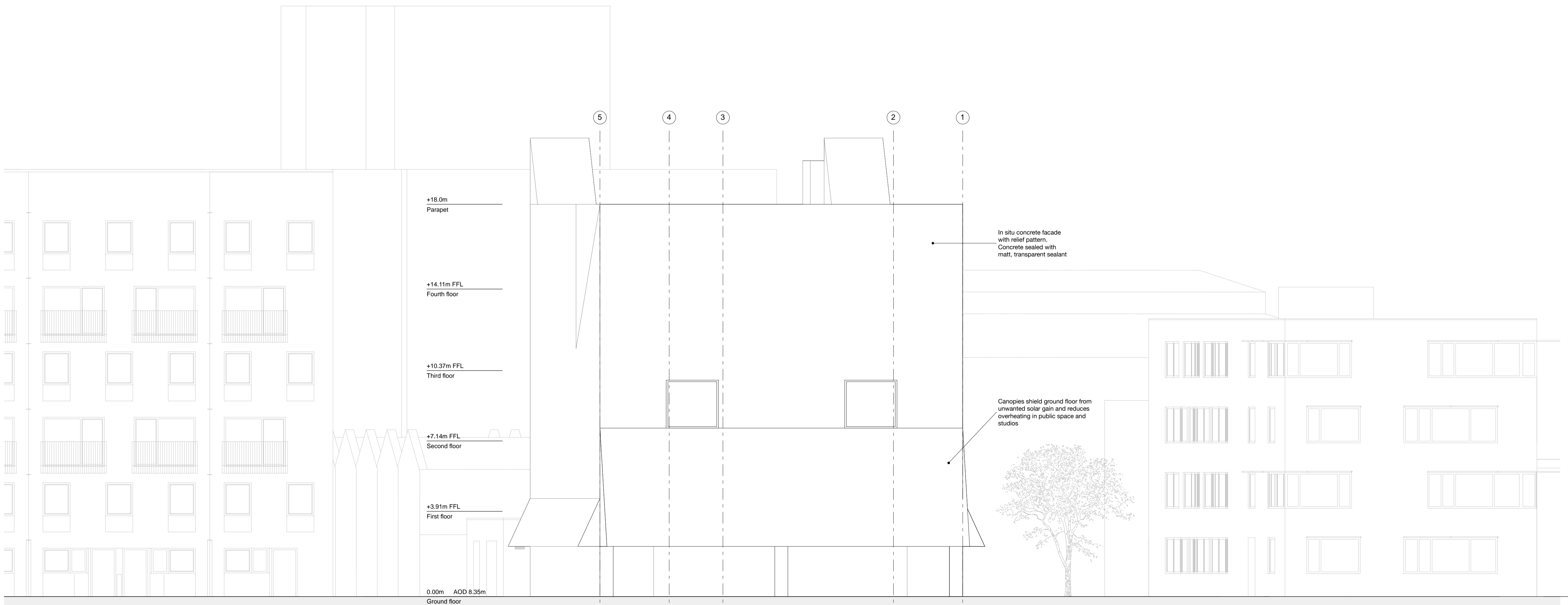
Project: **House for Artists**
Linton Road, Barking
Client: **BeFirst**, London Borough of Barking and Dagenham

Drawing title: **Elevation South - Walkway Elevation**
Status: **PLANNING**

Scale: 1:100 (at A1)
1:200 (at A3)
Date: 21.11.18
Drawing Nr.: HAB-PLN-E-S2
Revision: 02
Drawn by:
Checked by:

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



Forresters Apartments

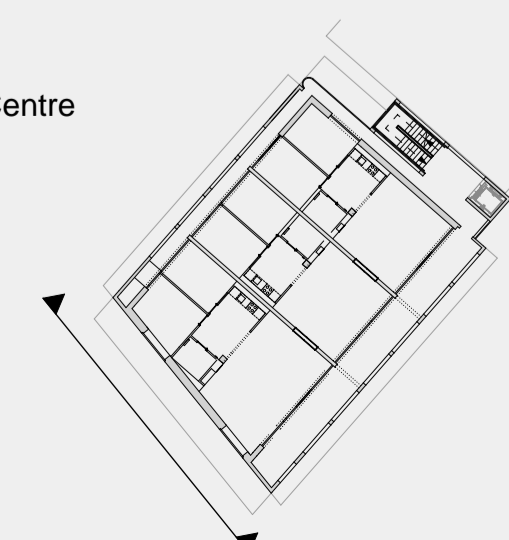
Ann Mews

House for Artists

Courtyard

Barking Enterprise Centre

West Elevation



REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev.	Date	Description
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APPARATA
Old Manor Park Library London E12 5JY | mail@apparata.co.uk

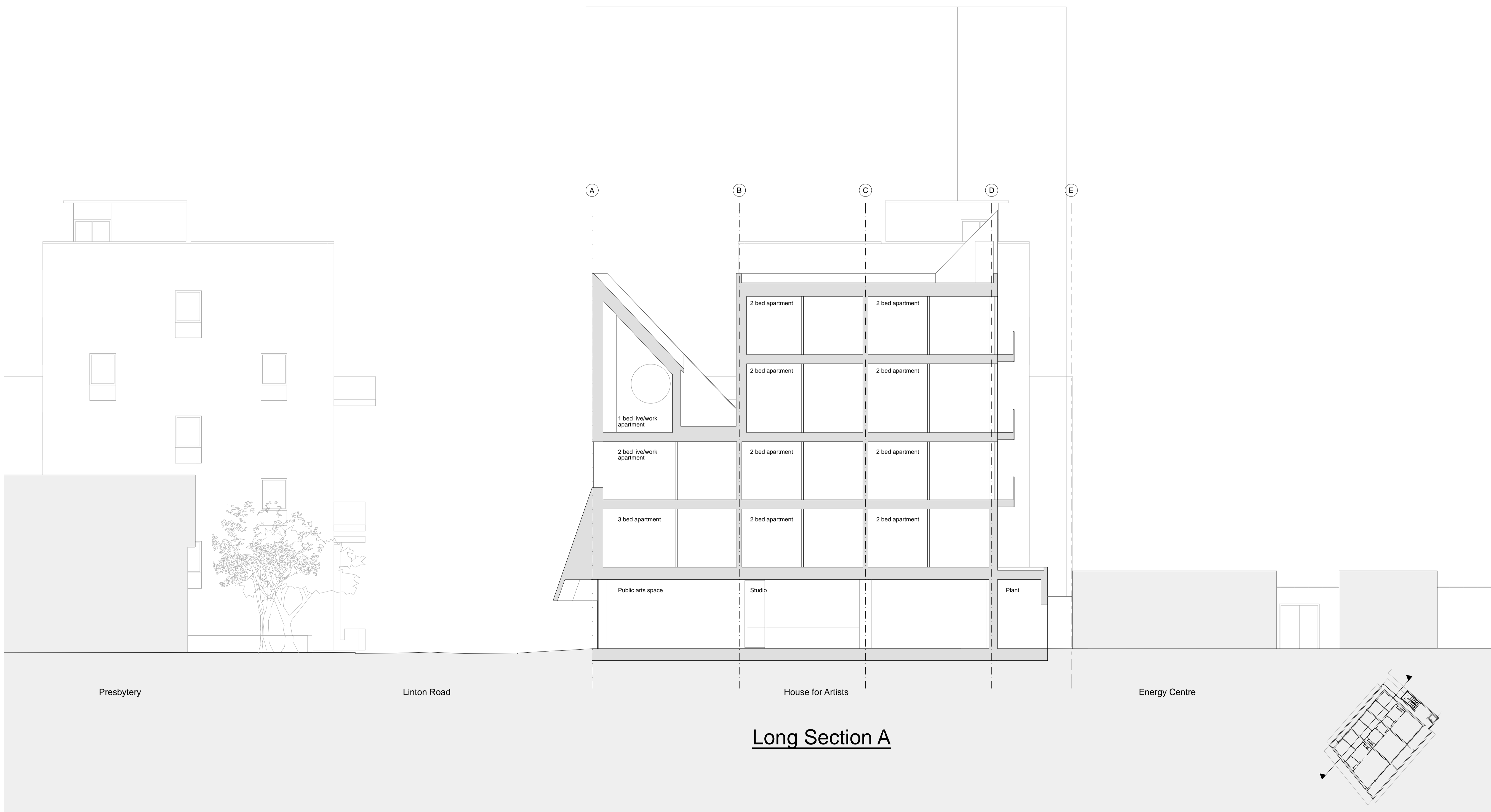
Project: **House for Artists**
Linton Road, Barking
Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: Elevation West
Status: PLANNING

Scale: 1:100 (at A1)
1:200 (at A3)
Date: 21.11.18
Drawing Nr.: HAB-PLN-E-W
Revision: 02
Drawn by:
Checked by:

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



Long Section A

REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev.	Date	Description

APPARATA
 Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
 Linton Road, Barking
 Client: **Befirst**, London Borough of Barking and Dagenham

Drawing title: Section A
 Status: PLANNING

Scale: 1:100 (at A1)
 1:200 (at A3)

Date: 21.11.18

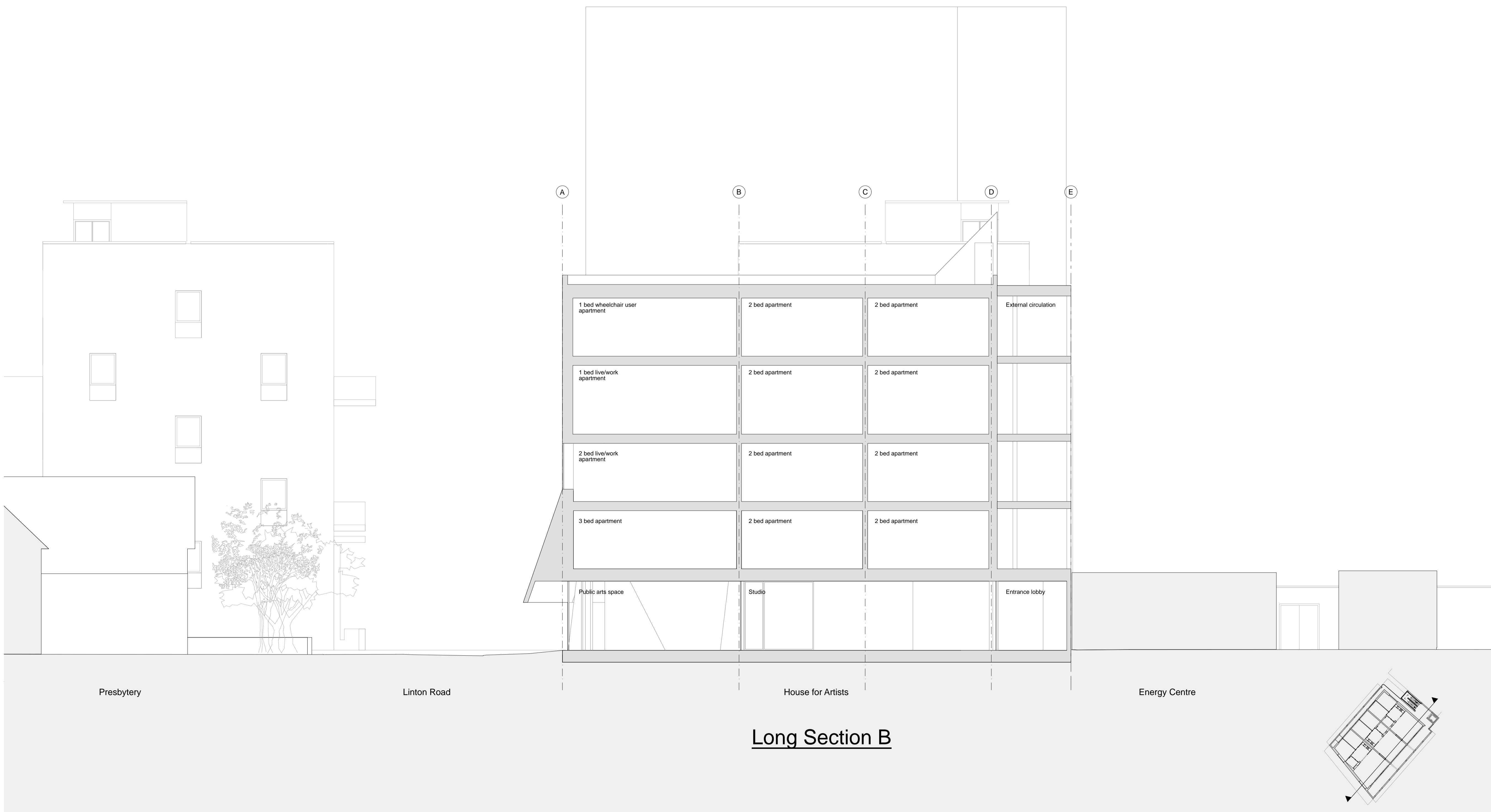
Drawing Nr.: HAB-PLN-S-A

Revision: 02

Drawn by:
 Checked by:

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
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6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

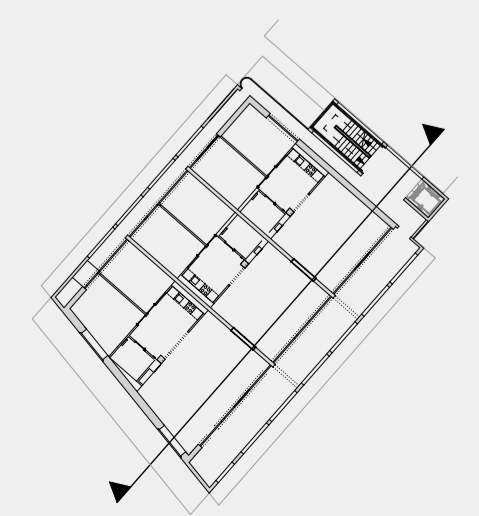
Rev.	Date	Description

APPARATA
 Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
 Linton Road, Barking
 Client: BeFirst, London Borough of Barking and Dagenham

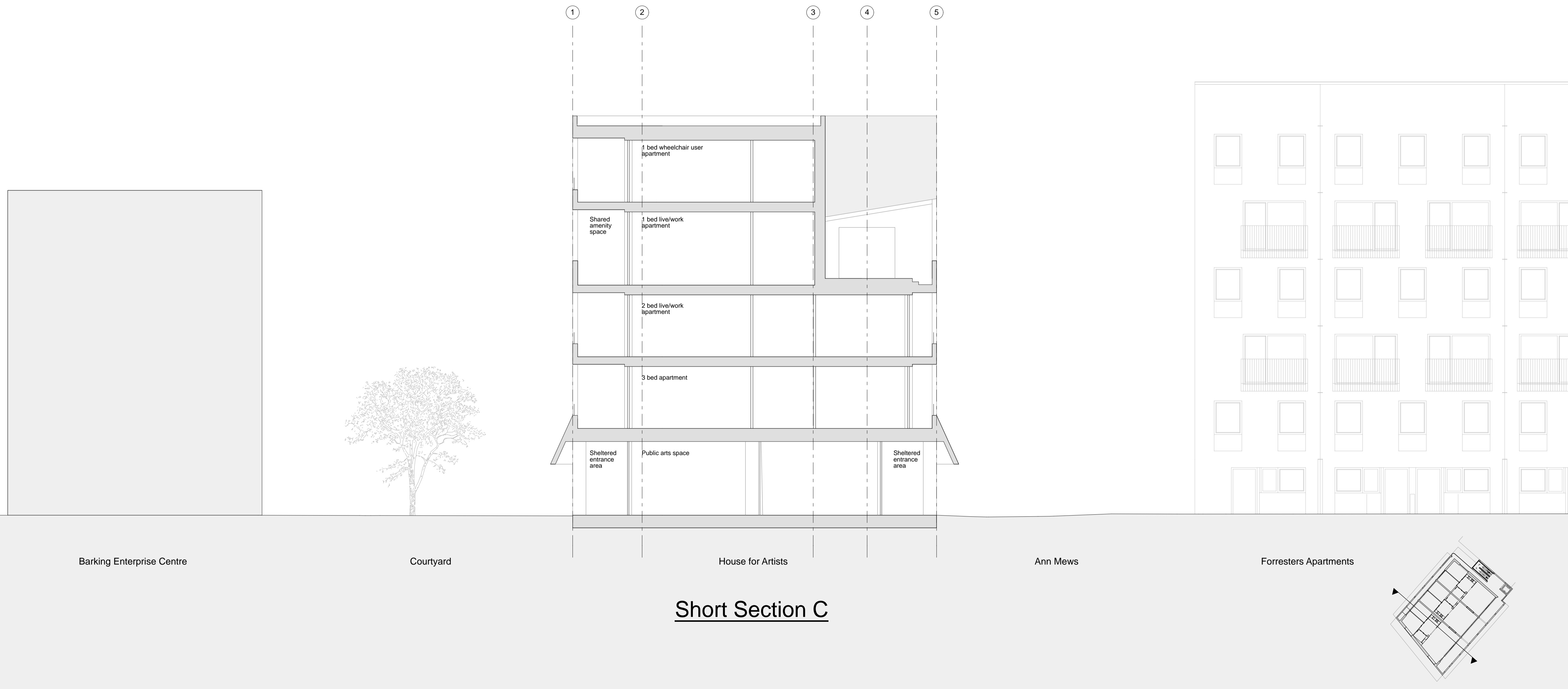
Drawing title: Section B
 Status: PLANNING

Scale: 1:100 (at A1)
 1:200 (at A3)
 Date: 21.11.18
 Drawing Nr.: HAB-PLN-S-B
 Revision: 02
 Drawn by:
 Checked by:



1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
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6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

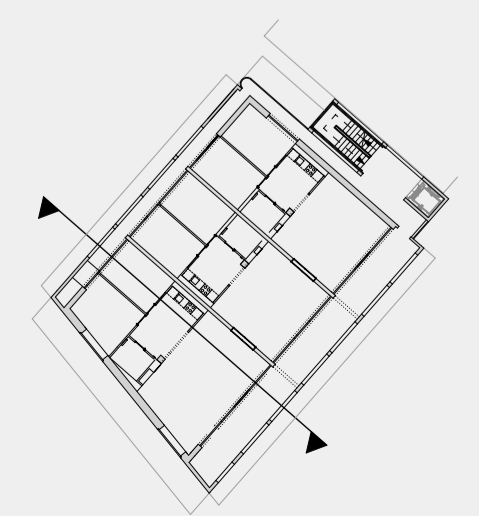
Rev.	Date	Description

APPARATA
 Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
 Linton Road, Barking
 Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: Section C
 Status: PLANNING

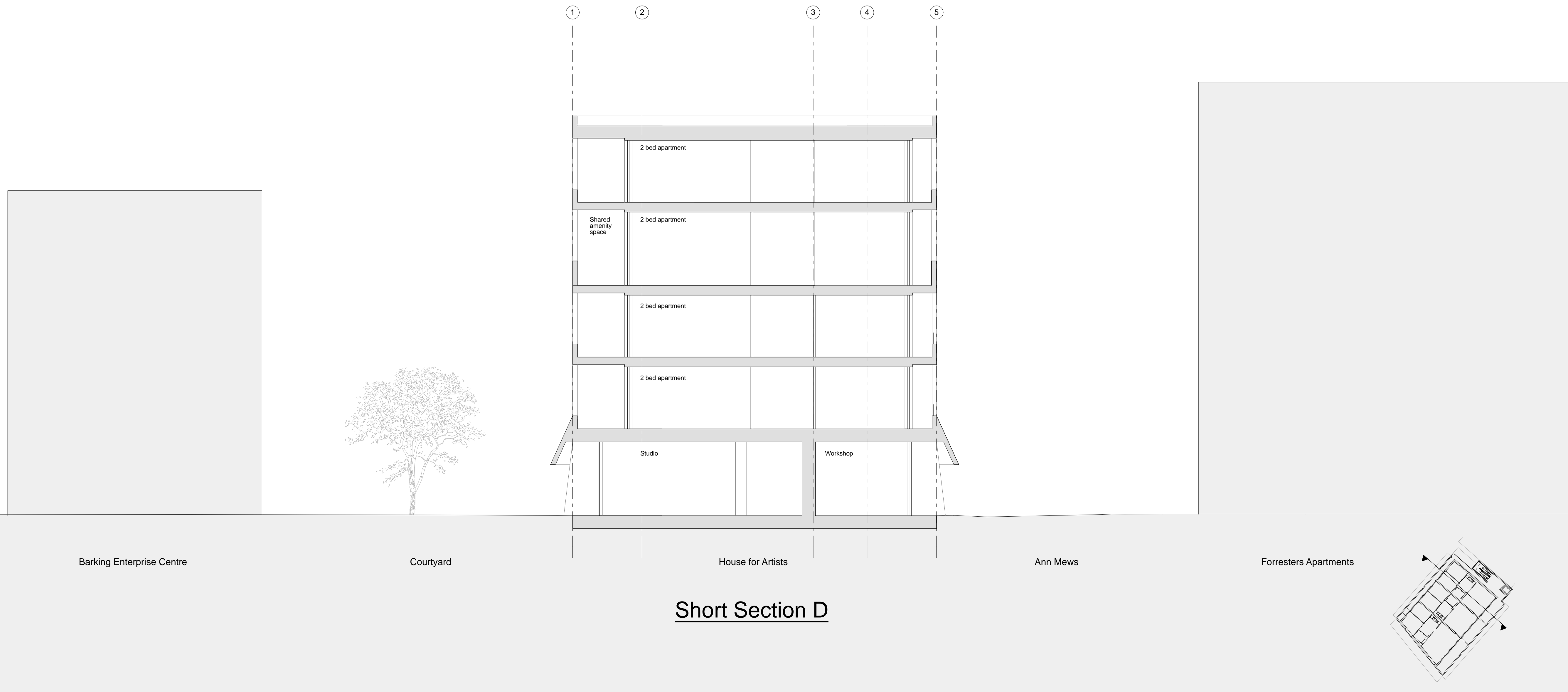
Scale: 1:100 (at A1)
 1:200 (at A3)
 Date: 21.11.18
 Drawing Nr.: HAB-PLN-S-C
 Revision: 02
 Drawn by:
 Checked by:



Short Section C

1. Do not scale drawings.
2. Neighbouring buildings are approximate.
3. All dimensions, levels and conditions shall be checked on site before proceeding with the work.
4. APPARATA shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.
6. Spot levels are subject to variation.
7. All drawings to be read in conjunction with all consultants information and the specification.
8. Do not use for construction unless expressly permitted.

NOTES:



Short Section D

REV	DATE	DESCRIPTION
00	27/03/18	Planning
01	25/04/18	Revised annotation
02	21/11/18	Non material planning amendment

Rev.	Date	Description

APPARATA
 Old Manor Park Library London E12 5JY | mail@apparata.co.uk

Project: **House for Artists**
 Linton Road, Barking
 Client: BeFirst, London Borough of Barking and Dagenham

Drawing title: Section D
 Status: PLANNING

Scale: 1:100 (at A1)
 1:200 (at A3)

Date: 21.11.18

Drawing Nr.: HAB-PLN-S-D

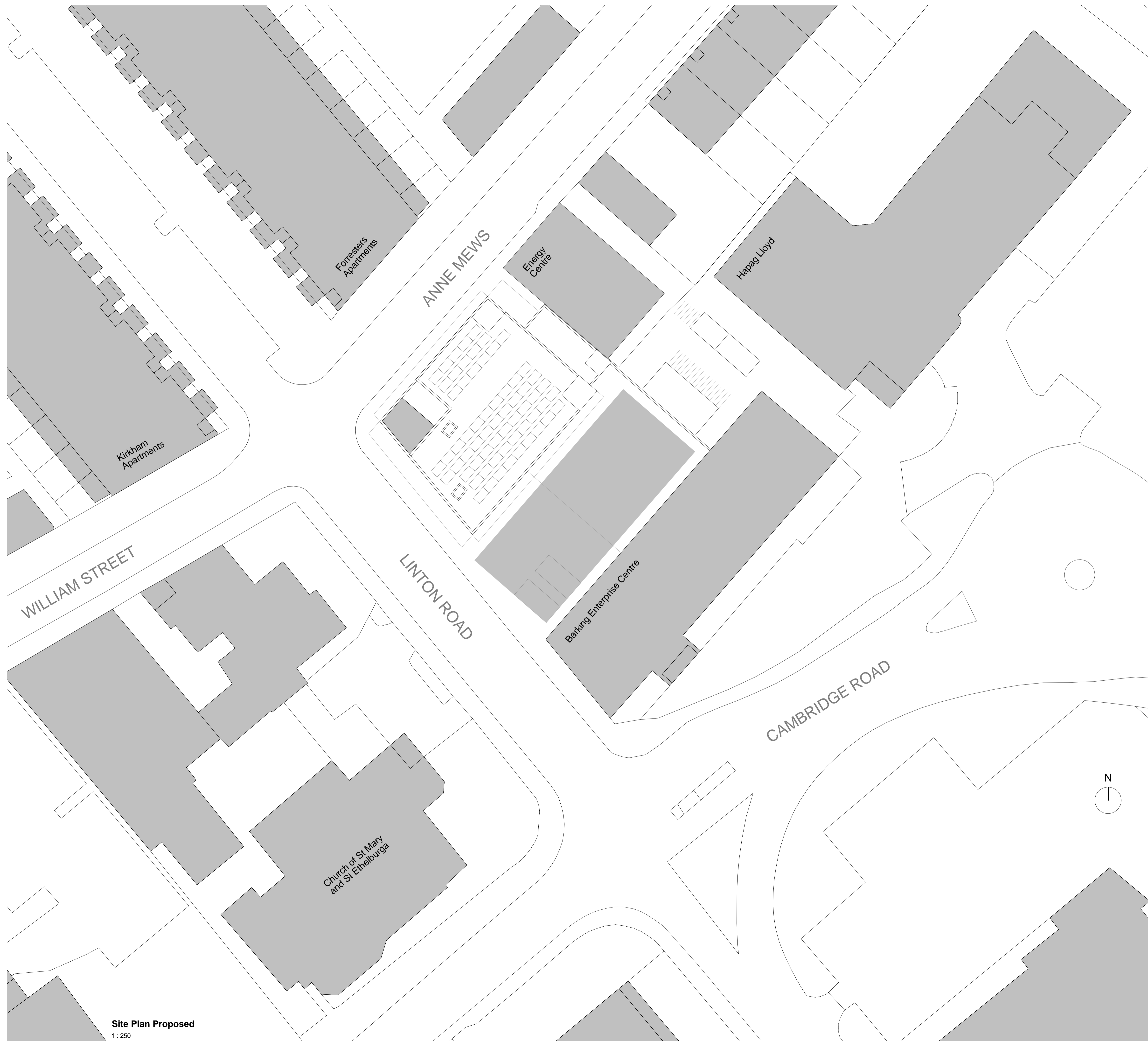
Revision: 02

Drawn by:

Checked by:

Appendix B

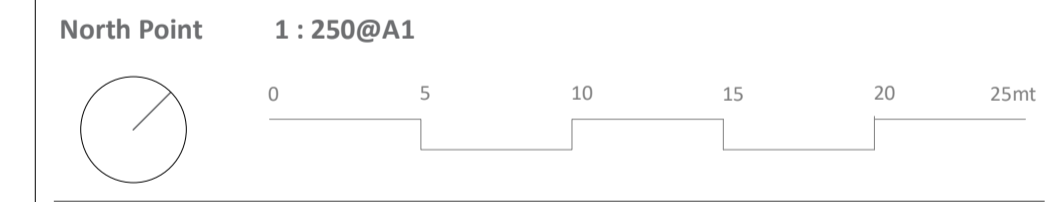
Amended Drawings



Site Plan Proposed
1 : 250

Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.

Key Plan



Rev	Description	Date	Init	Chkd
04	PV panels and 2 skylights reinstated	04/06/20	PP	TB
03	Minor alterations of the windows and rooflights omitted	01/10/19	PP	TB

Project **MURPHY**
House for Artists

Title
Site Plan Proposed-Planning

Client **J Murphy & Sons** Status **Planning**

Date **01/10/2019** Drawn By **PP** Checked By **TB**

Project No. **K190158** Drawing No. **HFA- CFS- ZZ- ZZ- DR- A-0P103** Revision **04**



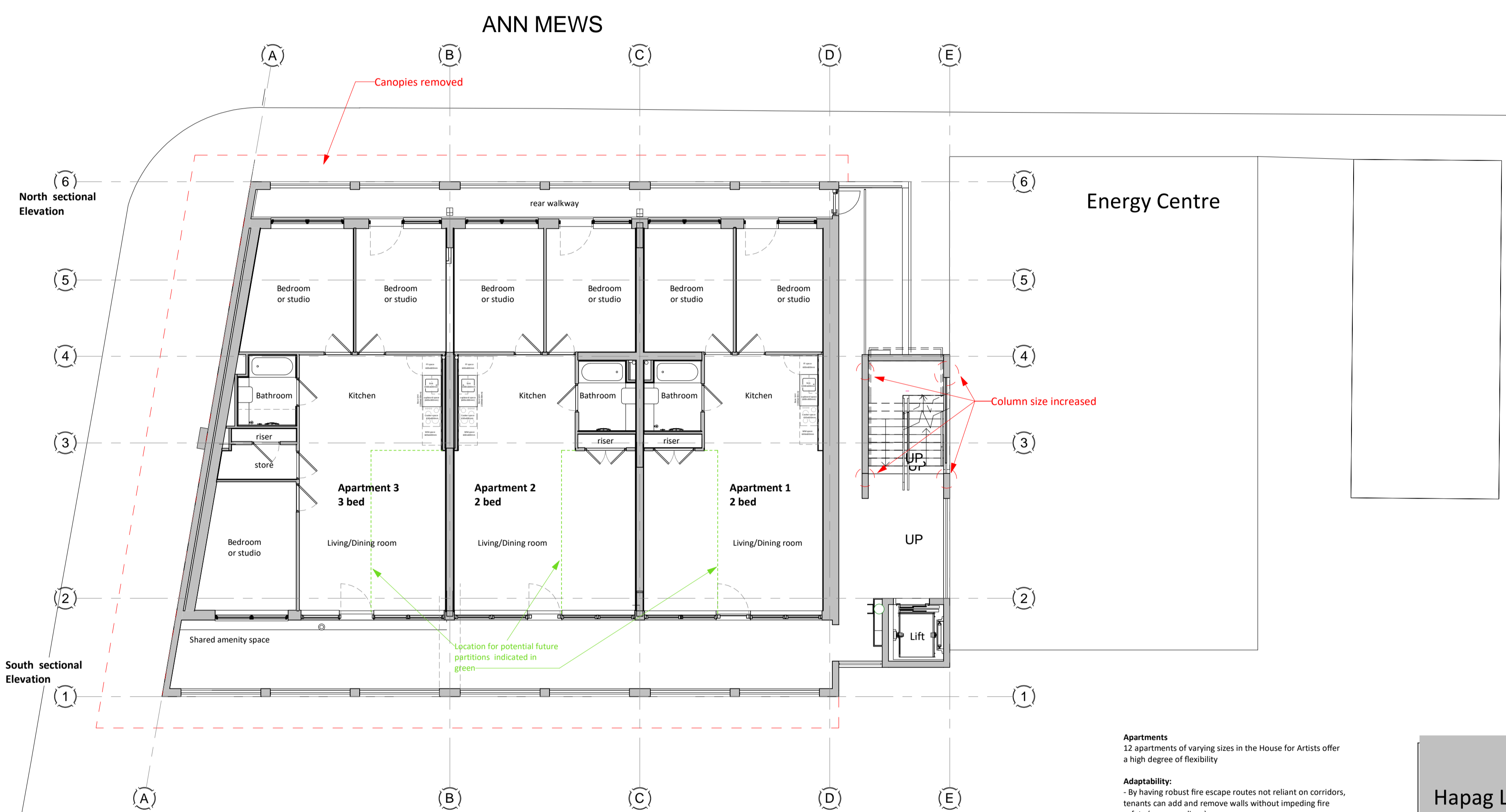
Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.

Kirkham Apartments

Forresters Apartments

Presbytery

LINTON ROAD



First Floor Plan

Apartments
12 apartments of varying sizes in the House for Artists offer a high degree of flexibility

Adaptability:
- By having robust fire escape routes not reliant on corridors, tenants can add and remove walls without impeding fire safety (see green lines)
- Raw finishes enable the tenants to influence their own space to fit their needs
- Services in raised floor to enable access for repair and future adaptation

Flexibility:
- The apartments can become live-work units by designating a bedroom as a studio.
- This is made possible by having raw finishes, room sizes and openings that do not predefine the use of the room

Co-housing:
- One floor would be predefined as co-housing and fitted out with double doors between apartments to optionally expand and share living spaces
- Optional future co-housing units are possible through pre-planned soft spots on all floors to enable future sharing and future adaptation

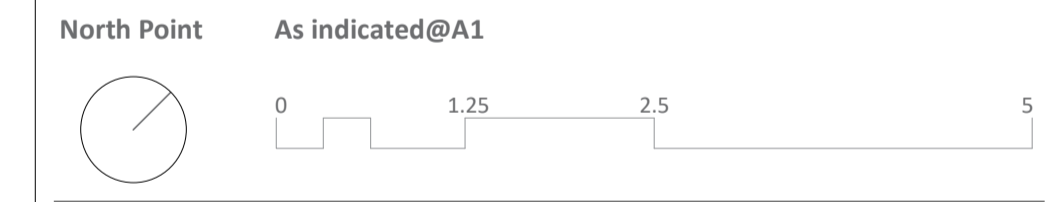
Circulation
- The building is organised along lines of co-housing and positive shared spaces including shared external balconies.
- Three apartments each share a generous outdoor terrace as a walkway and as an amenity space.
- Due to the small number of apartments per floor there will be a particularly strong level of familiarity between residents on same floor.

Energy Centre

Hapag Lloyd Offices

Barking Enterprise centre

Key Plan



Rev	Description	Date	Init	Chkd
10	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
9	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
8	Updated in line with NIAA comments	03.08.2020	PM	TB
7	General Update	27.07.2020	PM	TB
6	External fenestration amended, notes added	04.06.20	PP	TB
5	External fenestrations amended	16/10/19	PP	TB
4	Internal wall reduced	08/10/19	PP	TB
3	Minor alterations of the windows and rooflights omitted	01/10/19	PP	TB

Project
House for Artists

Title
Proposed First Floor-Planning

Client
J Murphy & Sons

Date
01/10/2019

Project No.
K190158

Drawn By
PP

Drawing No.
HFA- CFS- RD- 01- DR- A-0P202

Status
Planning

Checked By
TB

Revision
10



Kirkham Apartments

Forresters Apartments

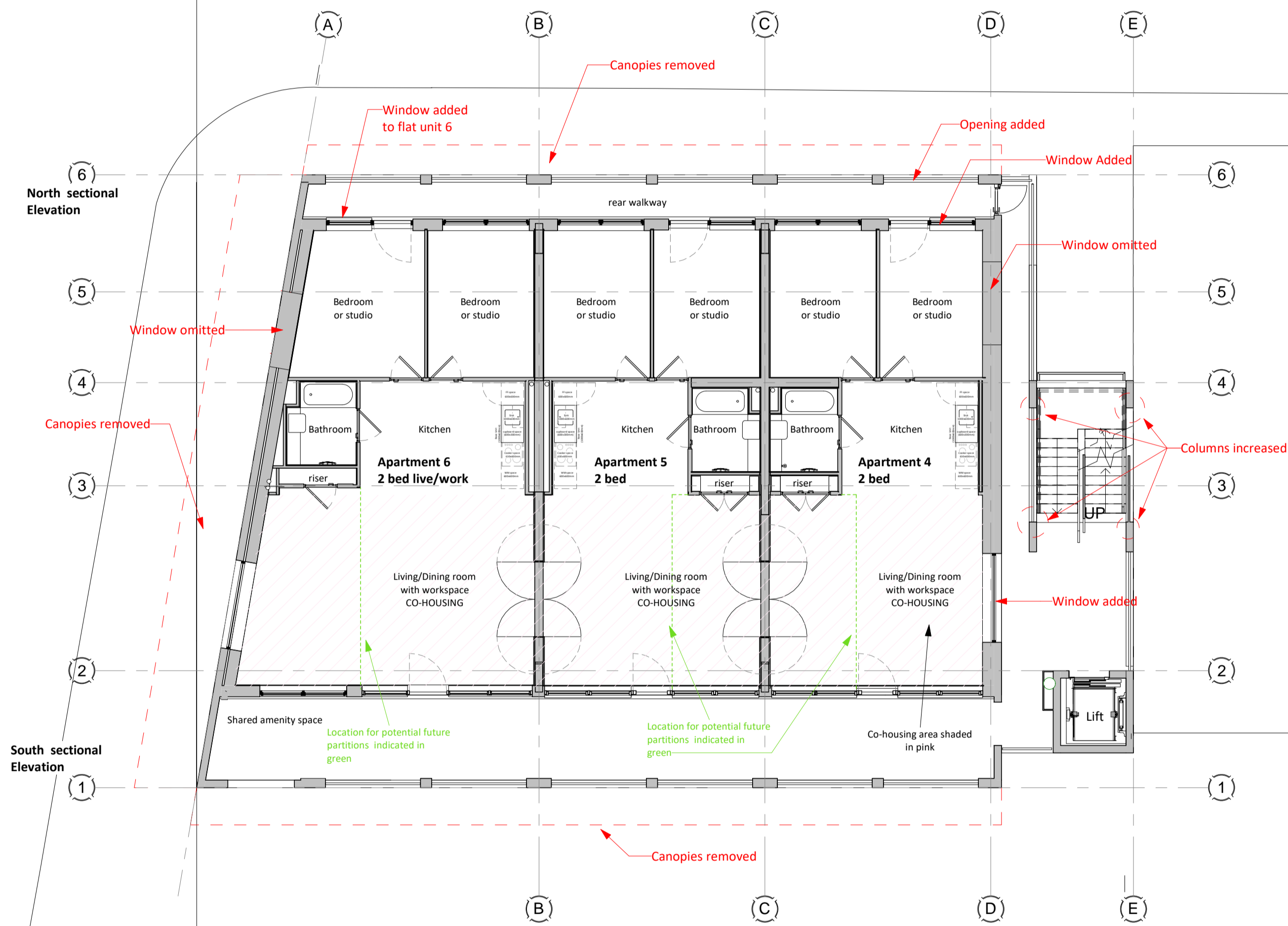
Presbytery

LINTON ROAD

Hapag Lloyd Offices

Barking Enterprise centre

ANN MEWS



Second Floor Plan

Apartments
12 apartments of varying sizes in the House for Artists offer a high degree of flexibility

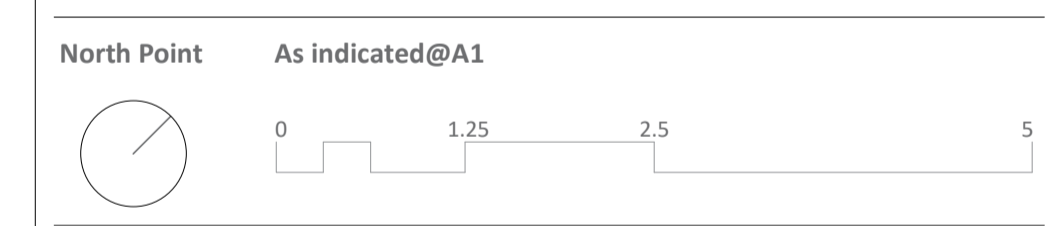
Adaptability:
- By having robust fire escape routes not reliant on corridors, tenants can add and remove walls without impeding fire safety (see green lines)
- Raw finishes enable the tenants to influence their own space to fit their needs
- Services in raised floor to enable access for repair and future adaptation

Flexibility:
- The apartments can become live-work units by designating a bedroom as a studio.
- This is made possible by having raw finishes, room sizes and openings that do not predefine the use of the room

Co-housing:
- One floor would be predefined as co-housing and fitted out with double doors between apartments to optionally expand and share living spaces
- Optional future co-housing units are possible through pre-planned soft spots on all floors to enable future sharing and future adaptation

Circulation
- The building is organised along lines of co-housing and positive shared spaces including shared external balconies.
- Three apartments each share a generous outdoor terrace as a walkway and as an amenity space.
- Due to the small number of apartments per floor there will be a particularly strong level of familiarity between residents on same floor.

Key Plan



Rev	Description	Date	Init	Chkd
12	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
11	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
10	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
9	Updated in line with NIAA comments	03.08.2020	PM	TB
8	General Update	27.07.2020	PM	TB
7	External door added	07.07.2020	PM	TB
6	External fenestration amended, notes added	04.06.20	PP	TB
5	External fenestrations amended	16/10/19	PP	TB
4	Internal wall reduced	08/10/19	PP	TB
3	Minor alterations of the windows and rooflights omitted	01/10/19	PP	TB

Project
House for Artists

Title
Proposed Second Floor-Planning

Client
J Murphy & Sons

Date
19/09/19

Project No.
K190158

Drawn By
PP

Drawing No.
HFA- CFS- RD- 02- DR- A-0P203

Status
Planning

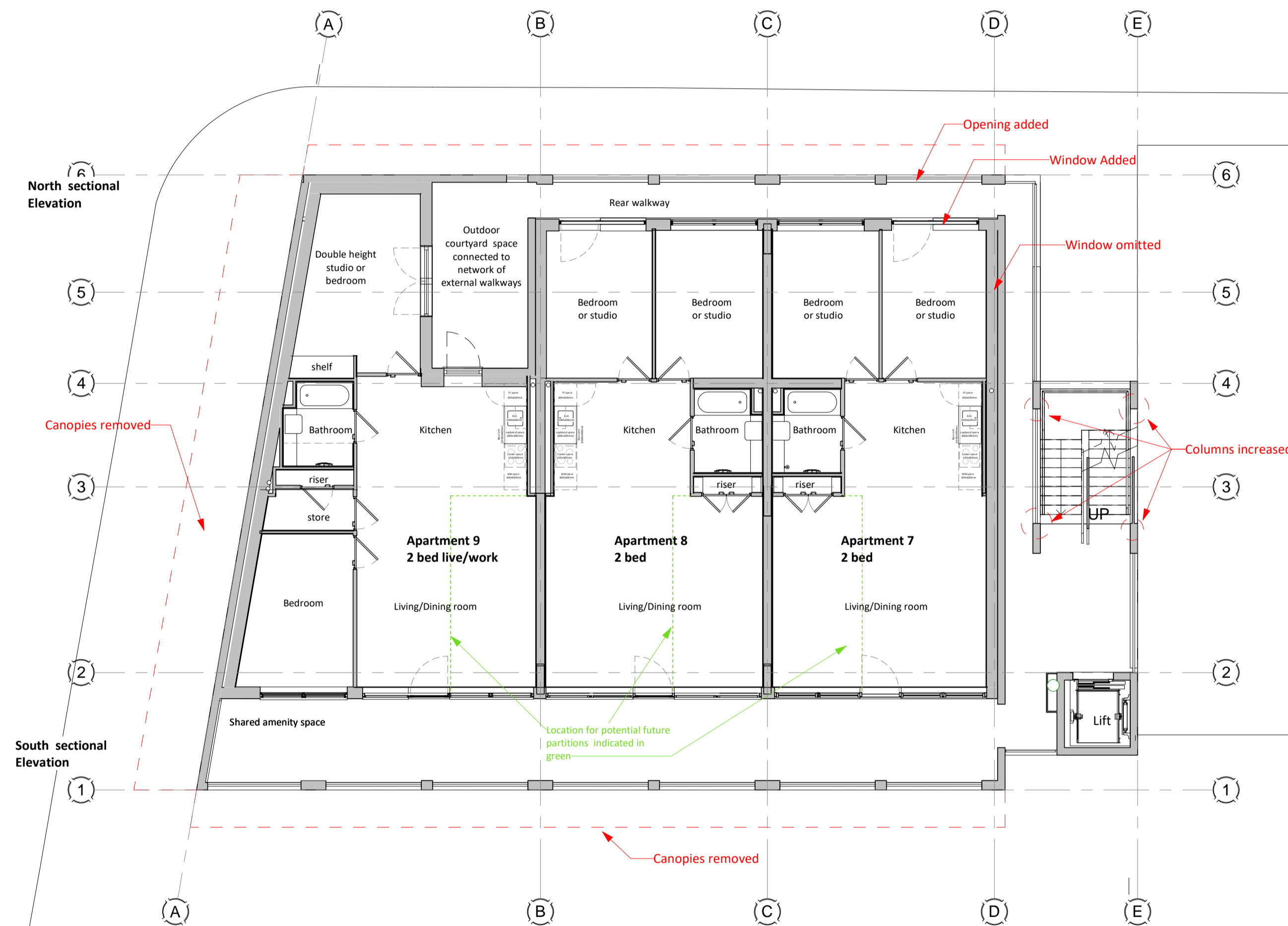
Checked By
TB

Revision
12

Kirkham Apartments

Forresters Apartments

ANN MEWS



Third Floor Plan

Apartments
12 apartments of varying sizes in the House for Artists offer a high degree of flexibility

Adaptability:
- By having robust fire escape routes not reliant on corridors, tenants can add and remove walls without impeding fire safety (see green lines)
- Raw finishes enable the tenants to influence their own space to fit their needs
- Services in raised floor to enable access for repair and future adaptation

Flexibility:
- The apartments can become live-work units by designating a bedroom as a studio.
- This is made possible by having raw finishes, room sizes and openings that do not predefine the use of the room

Co-housing:
- One floor would be predefined as co-housing and fitted out with double doors between apartments to optionally expand and share living spaces
- Optional future co-housing units are possible through pre-planned soft spots on all floors to enable future sharing and future adaptation

Circulation
- The building is organised along lines of co-housing and positive shared spaces including shared external balconies.
- Three apartments each share a generous outdoor terrace as a walkway and as an amenity space.
- Due to the small number of apartments per floor there will be a particularly strong level of familiarity between residents on same floor.

Hapag Lloyd Offices

LINTON ROAD

Barking Enterprise centre

Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.

Key Plan

North Point As indicated@A1



Rev	Description	Date	Init	Chkd
11	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
10	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
9	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
8	Updated in line with NIAA comments	03.08.2020	PM	TB
7	General Update	27.07.2020	PM	TB
6	External fenestration amended, notes added	04.06.20	PP	TB
5	External fenestrations amended	16/10/19	PP	TB
4	Internal wall reduced	08/10/19	PP	TB
3	Minor alterations of the windows and rooflights omitted	01/10/19	PP	TB

Project

House for Artists



Title

Proposed Third Floor-Planning

Client

J Murphy & Sons

Status

Planning

Date

19/09/19

Drawn By

PP

Checked By

TB

Project No.

K190158

Drawing No.

HFA- CFS- RD- 03- DR- A-0P204

Revision

11



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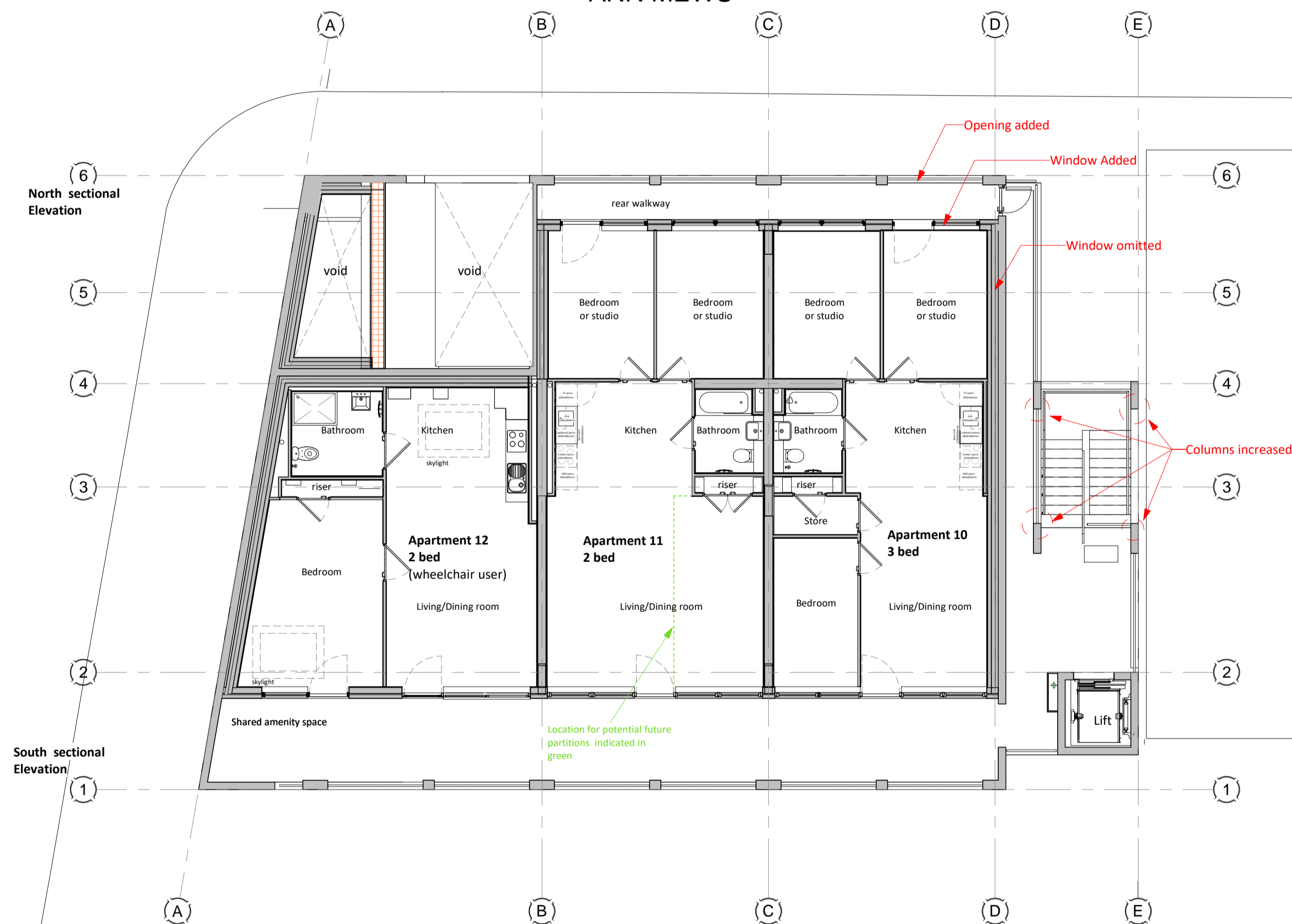
Kirkham Apartments

Forresters Apartments

Presbytery

LINTON ROAD

ANN MEWS



Fourth Floor Plan

Apartments
12 apartments of varying sizes in the House for Artists offer a high degree of flexibility

Adaptability:
- By having robust fire escape routes not reliant on corridors, tenants can add and remove walls without impeding fire safety (see green lines)
- Raw finishes enable the tenants to influence their own space to fit their needs
- Services in raised floor to enable access for repair and future adaptation

Flexibility:
- The apartments can become live-work units by designating a bedroom as a studio.
- This is made possible by having raw finishes, room sizes and openings that do not predefine the use of the room

Co-housing:
- One floor would be predefined as co-housing and fitted out with double doors between apartments to optionally expand and share living spaces
- Optional future co-housing units are possible through pre-planned soft spots on all floors to enable future sharing and future adaptation

Circulation
- The building is organised along lines of co-housing and positive shared spaces including shared external balconies.
- Three apartments each share a generous outdoor terrace as a walkway and as an amenity space.
- Due to the small number of apartments per floor there will be a particularly strong level of familiarity between residents on same floor.

Hapag Lloyd Offices

Barking Enterprise centre

Key Plan

North Point As indicated@A1



Rev	Description	Date	Init	Chkd
10	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
9	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
8	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
7	Updated in line with NIAA comments	03.08.2020	PM	TB
6	General Update	27.07.2020	PM	TB
5	External fenestration amended, notes added	04.06.20	PP	TB
4	External fenestrations amended	16/10/19	PP	TB
3	Minor alterations of the windows and rooflights omitted	01/10/19	PP	TB

Project

House for Artists



Title

Proposed Fourth Floor-Planning

Client

J Murphy & Sons

Status

Planning

Date

01/10/2019

Drawn By

PP

Checked By

TB

Project No.

K190158

Drawing No.

HFA- CFS- RD- 04- DR- A-0P205

Revision

10

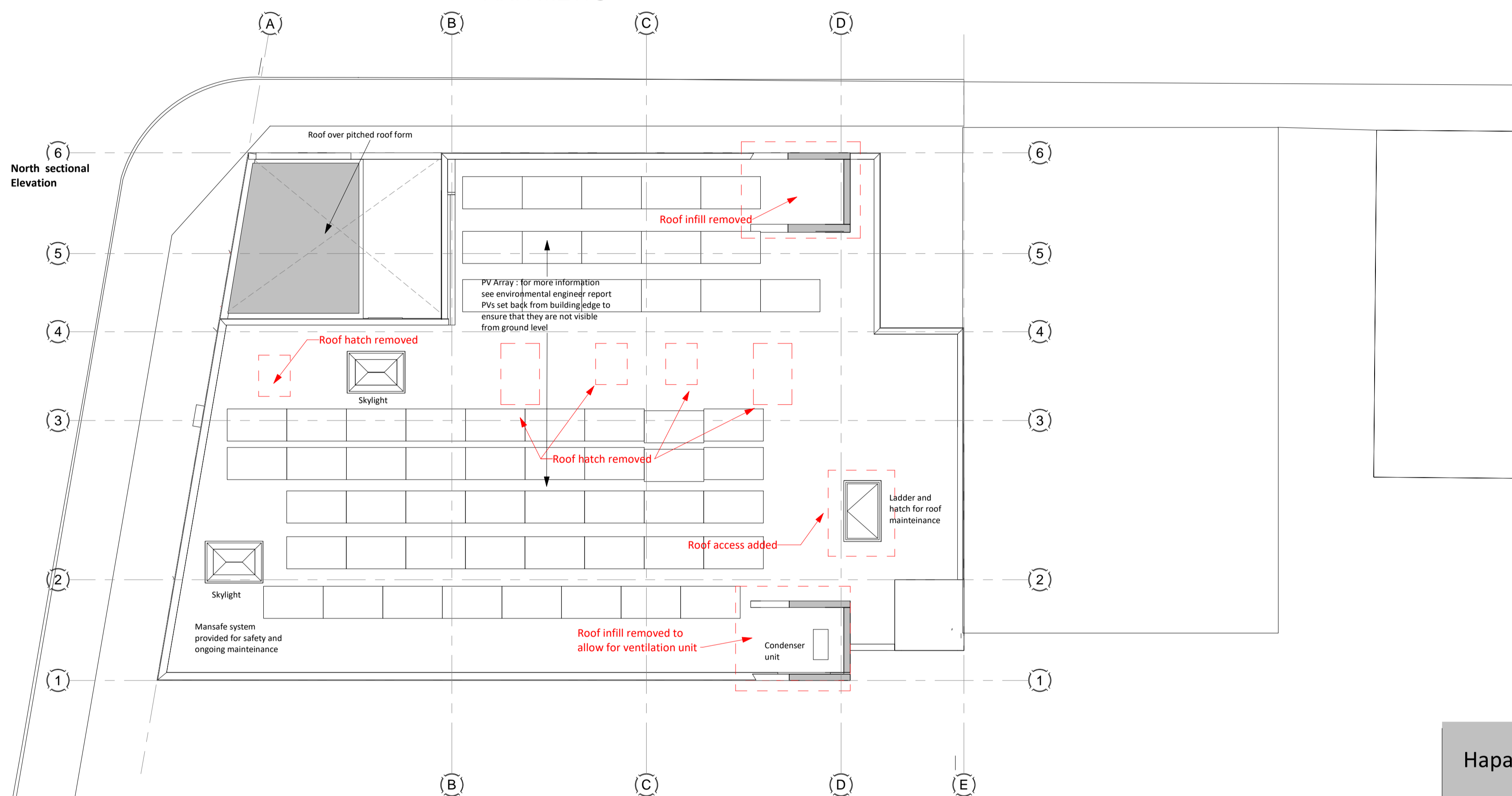


King's Head House King's Head Yard London SE1 1NA

Kirkham Apartments

Forresters Apartments

ANN MEWS



Roof Plan

LINTON ROAD

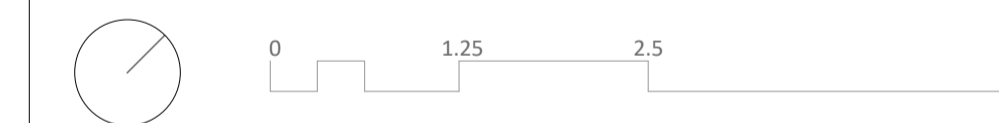
Barking Enterprise centre

Hapag Lloyd Offices

Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.

Key Plan

North Point 1 : 100@A1



9	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
8	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
7	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
6	Updated in line with NMA comments	03.08.2020	PM	TB
5	PV panels and 2 skylights reinstated	04/06/20	PP	TB
4	PV panels removed	18/10/19	PP	TB
3	Minor alterations of the windows and rooflights omitted	01/10/19	PP	TB
Rev	Description	Date	Init	Chkd

Project

House for Artists



Title

Proposed Roof Plan-Planning

Client

J Murphy & Sons

Status

Planning

Date

11/10/2019

Drawn By

PP

Checked By

TB

Project No.

K190158

Drawing No.

HFA- CFS- RD- RF- DR- A-0P206

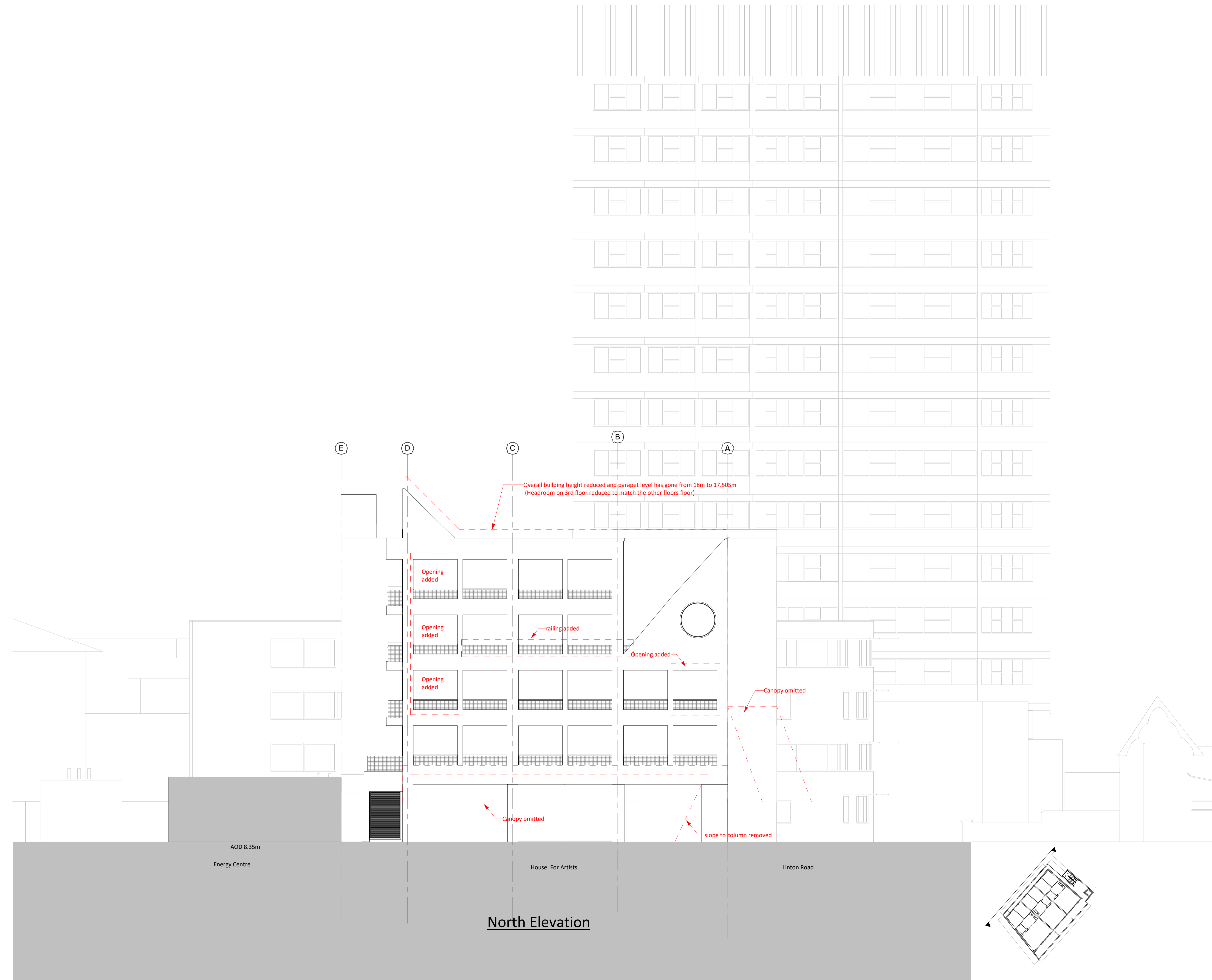
Revision

9

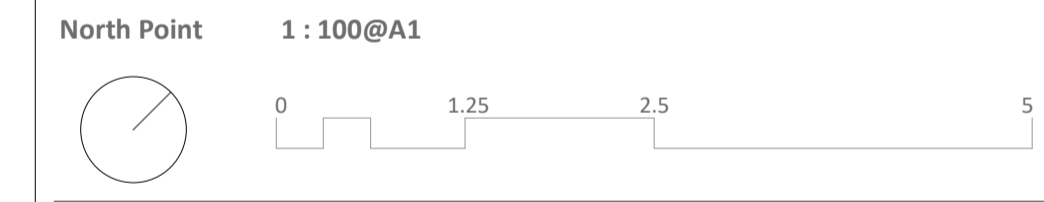


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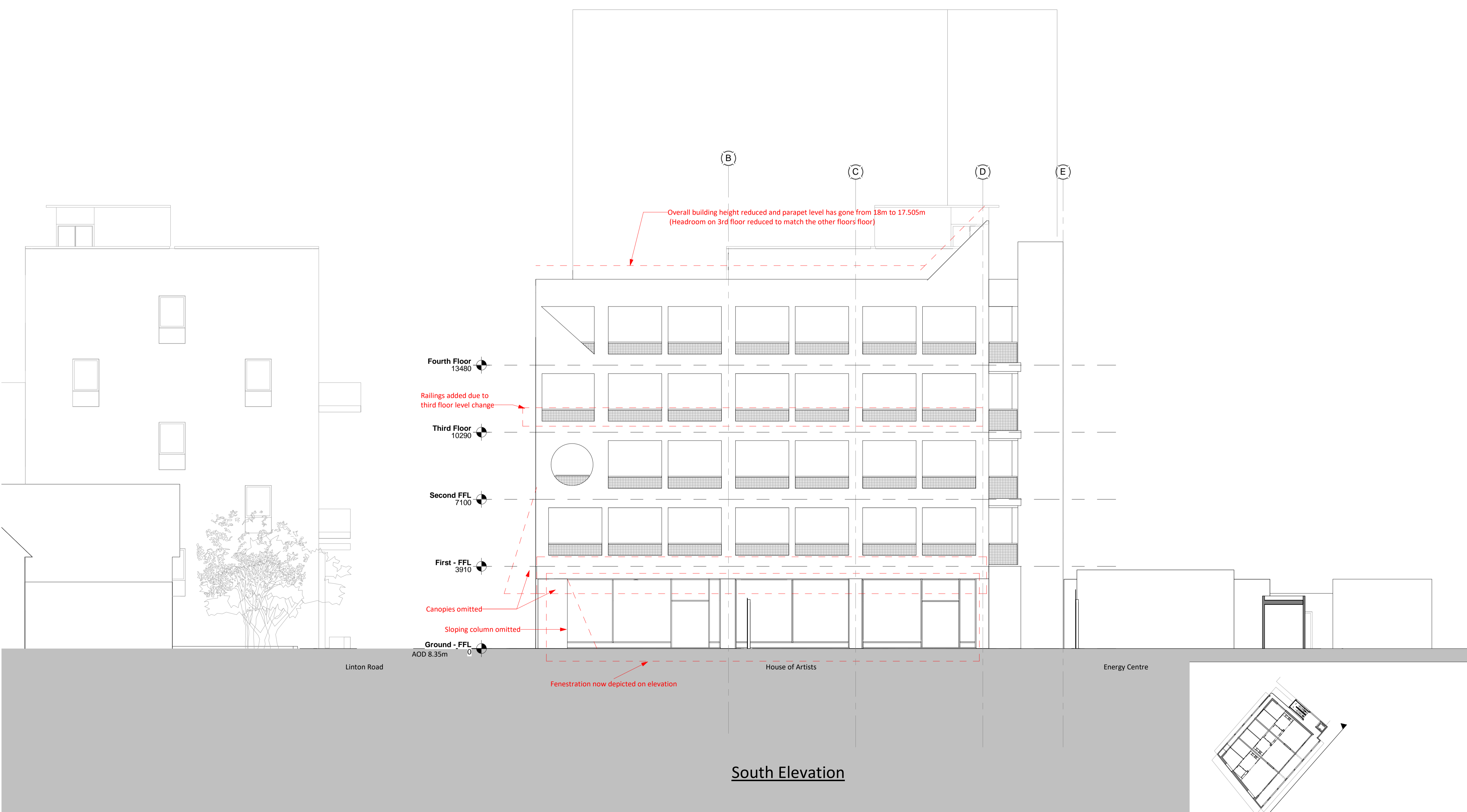
Key Plan



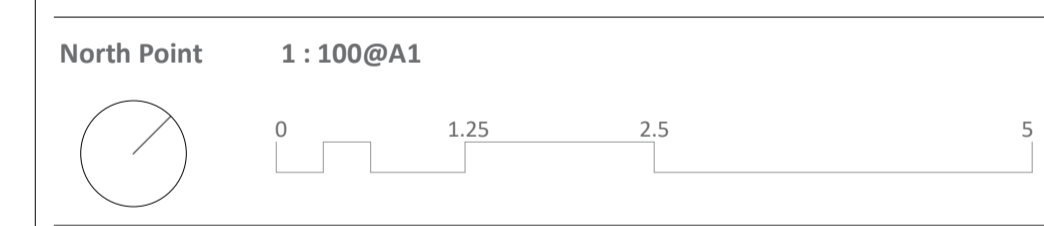
9	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
8	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
7	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
6	Updated in line with NIAA comments	03.08.2020	PM	TB
5	Glazing indicated to ground floor	07.07.2020	PM	TB
4	Notes added	04.06.20	PP	TB
3	External fenestrations amended, canopies revised, height of the building reduced	16/10/19	PP	TB
P01	Canopy changed from concrete to zinc	01/10/19	PP	TB
Rev	Description	Date	Init	Chkd

Project		MURPHY
House for Artists		
Title		
Proposed North Elevation-Planning		
Client		Status
J Murphy & Sons		Planning
Date	Drawn By	Checked By
25/09/2019	PP	TB
Project No.	Drawing No.	Revision
K190158	HFA- CFS- ZZ- ZZ- DR- A-0P301	9

Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.



Key Plan



9	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
8	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
7	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
6	Updated in line with NIAA comments	03.08.2020	PM	TB
5	Glazing indicated to ground floor	07.07.2020	PM	TB
4	Notes added	04/05/20	PP	TB
3	External fenestrations amended, canopies revised, height of the building reduced	16/10/19	PP	TB

Rev	Description	Date	Init	Chkd
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Project House for Artists

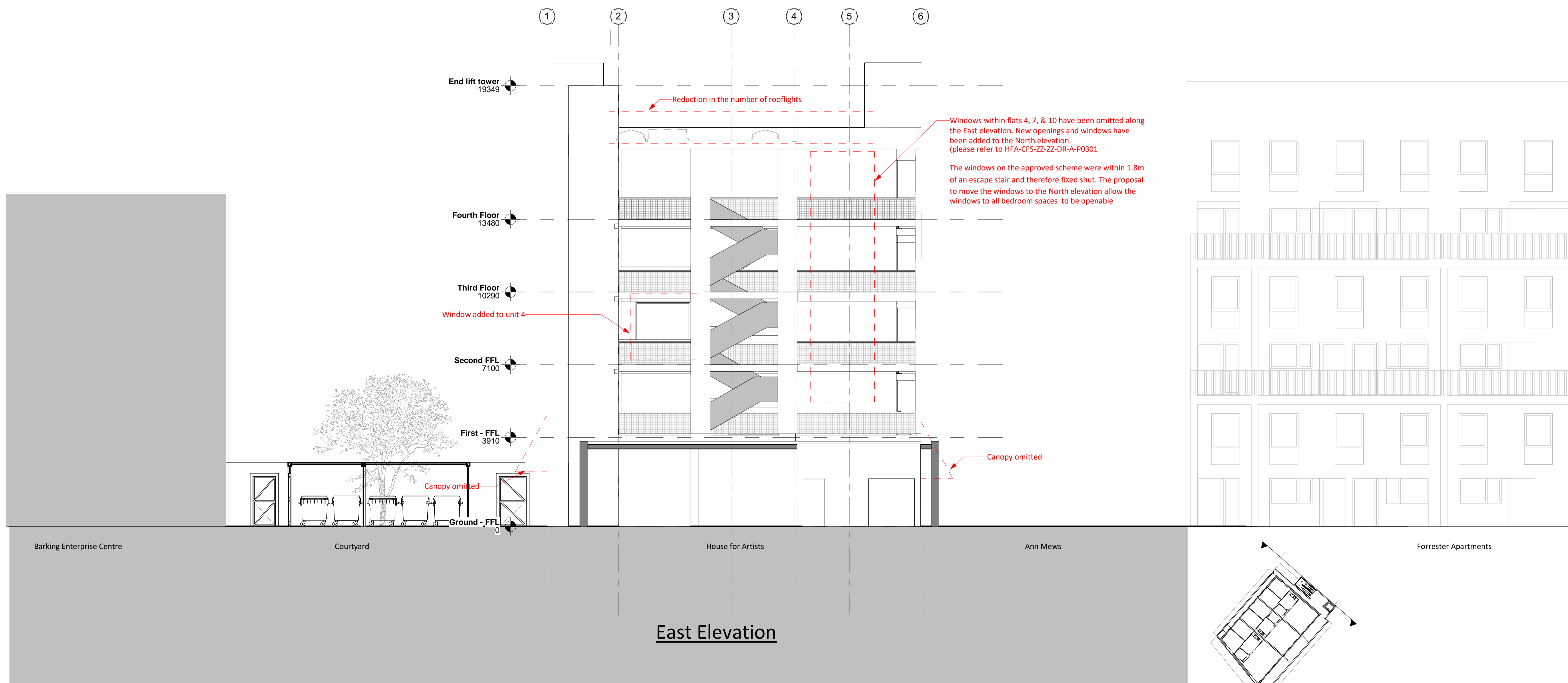
Title Proposed South Elevation-Planning

Client J Murphy & Sons **Status** Planning

Date 26/09/2019 **Drawn By** PP **Checked By** TB

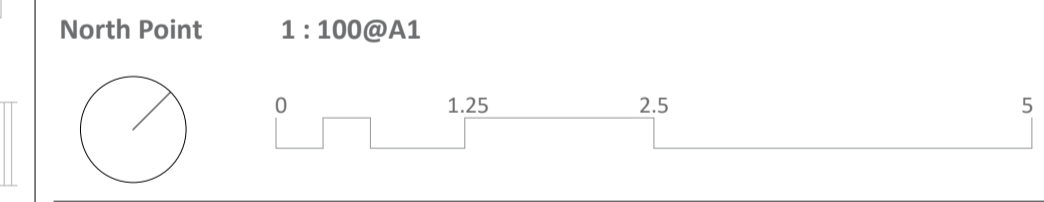
Project No. K190158 **Drawing No.** HFA- CFS- ZZ- ZZ- DR- A-0P302 **Revision** 9

Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.



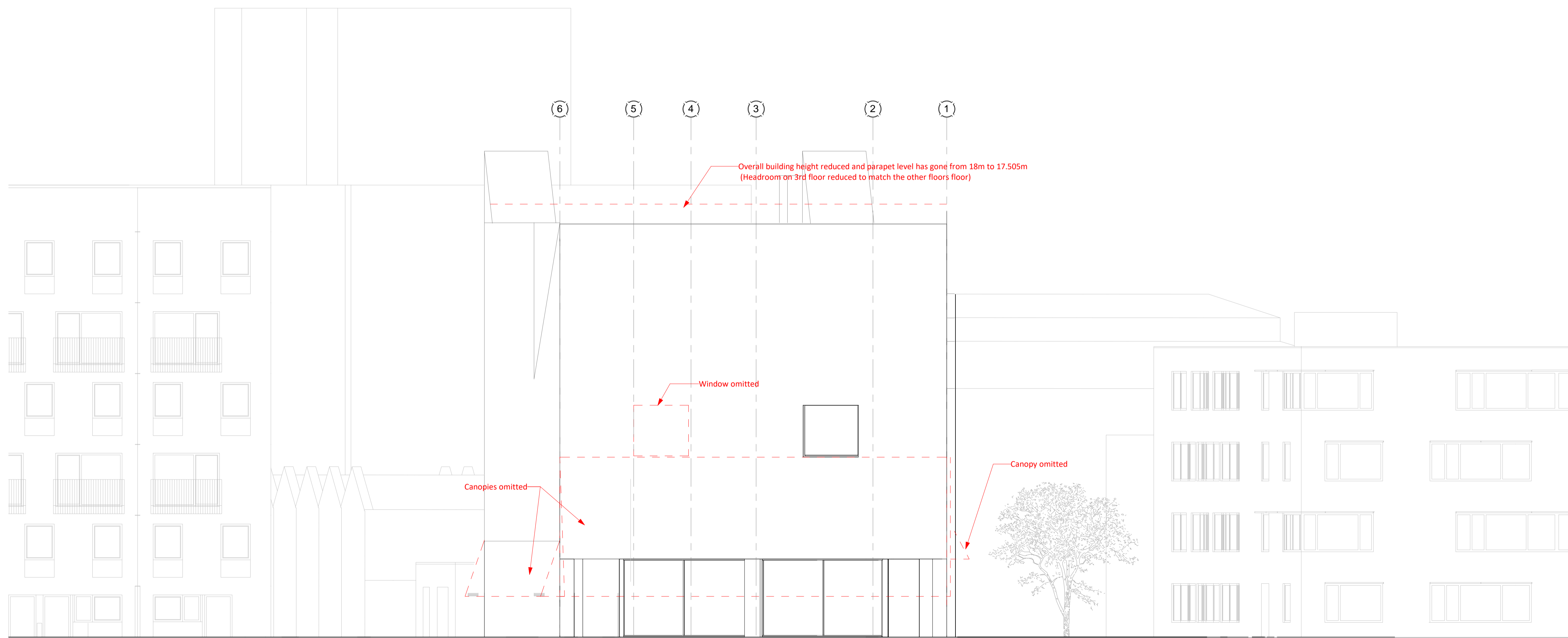
East Elevation

Key Plan



Rev	Description	Date	Init	Chkd
8	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
7	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
6	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
5	Updated in line with NMA comments	03.08.2020	PM	TB
4	Gates added	04/06/20	PP	TB
3	External fenestrations amended, canopies revised, height of the building reduced	16/10/19	PP	TB
P01	External wall changed from concrete to blockwork on GF, solid metal upstand replaced with metal mesh railings	08/10/19	PP	TB

Project	Client	Date	Drawn By	Checked By	Status
House for Artists	J Murphy & Sons	26/09/2019	PP	PP	Planning
Title	Proposed East Elevation-Planning	Project No.	K190158	Drawing No.	HFA- CFS- ZZ- ZZ- DR- A-0P303
Revision	8				



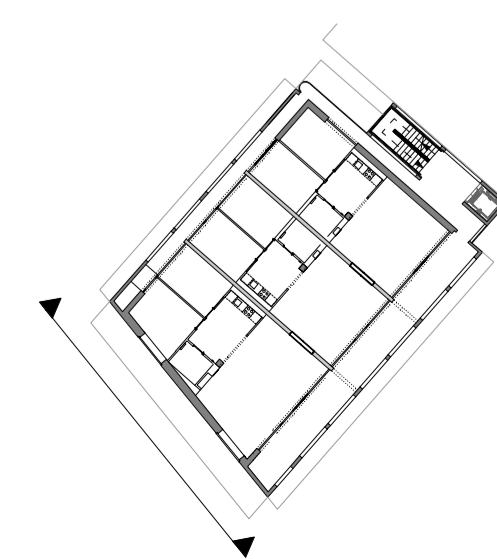
Forrester Apartments

Ann Mews

House of Artists

Courtyard

West Elevation



Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.

Key Plan

North Point 1 : 100@A1



10	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
9	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
8	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
7	Updated in line with NAA comments	03.08.2020	PM	TB
6	Glazing indicated to ground floor	07.07.2020	PM	TB
5	Notes added	04/06/20	PP	TB
4	External fenestrations amended, canopies revised, height of the building reduced	16/10/19	PP	TB
3	Glass door changed on the Ground Floor and canopy changed from concrete to zinc	11/10/19	PP	TB

Rev	Description	Date	Init	Chkd
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Project

House for Artists



Title

Proposed West Elevation-Planning

Client

J Murphy & Sons

Status

Planning

Date

26/09/2019

Drawn By

PP

Checked By

TB

Project No.

K190158

Drawing No.

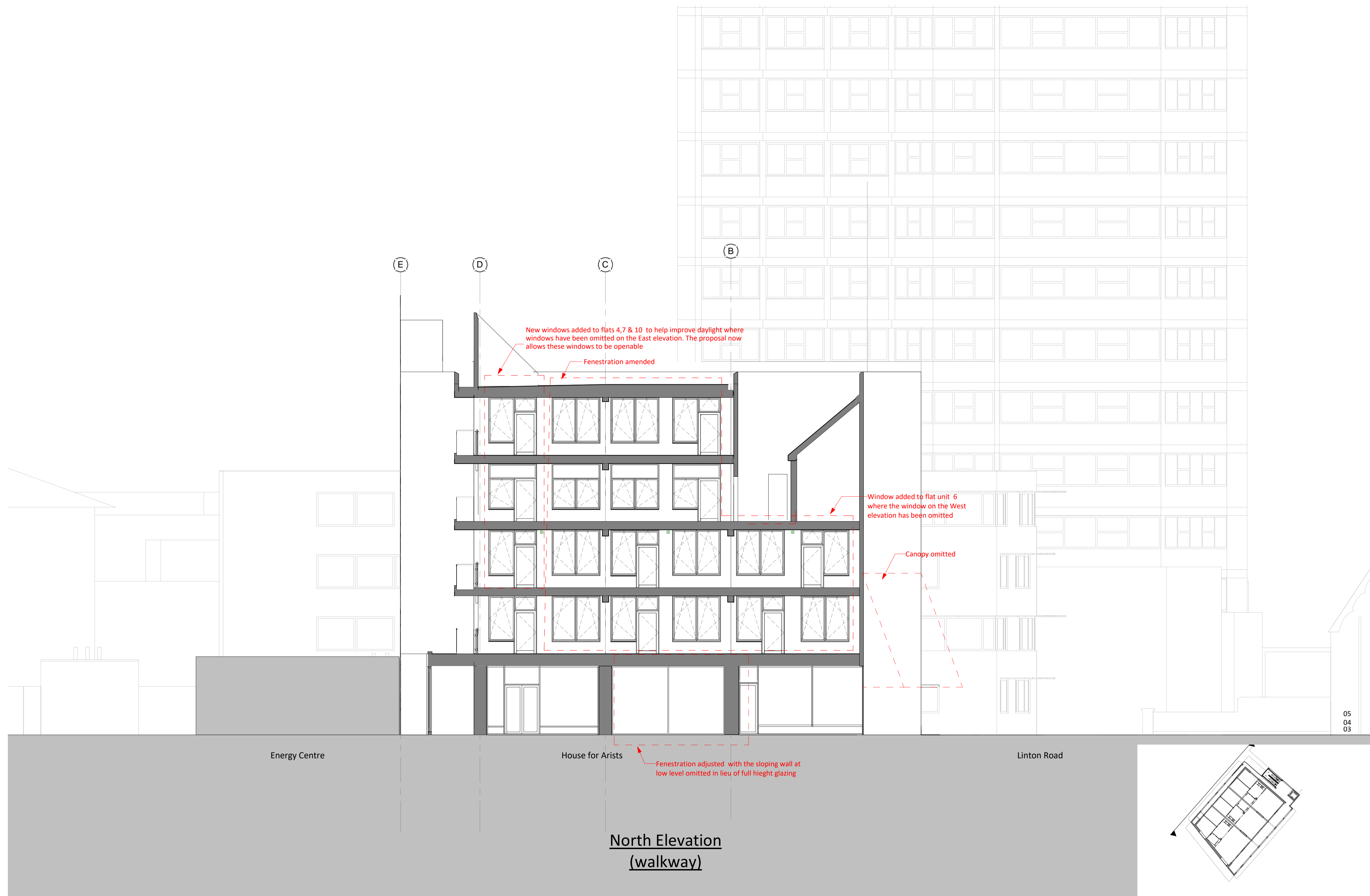
HFA- CFS- ZZ- ZZ- DR- A-0P304

Revision

10



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Key Plan

North Point 1 : 100@A1



8	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
7	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
6	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
5	External fenestration amended, notes added	04.06.20	PP	TB
4	External fenestrations amended, canopies revised, height of the building reduced	16/10/19	PP	TB
3	Glass door changed on the Ground Floor and canopy changed from concrete to zinc	11/10/19	PP	TB
P01	Glazing reduced	01/10/19	PP	TB
Rev	Description	Date	Init	Chkd

Project

House for Artists



Title

Proposed North Elevation (Walkway-Section5)-Planning

Client

J Murphy & Sons

Status

Planning

Date

26/09/2019

Drawn By

PP

Checked By

TB

Project No.

K190158

Drawing No.

HFA- CFS- ZZ- ZZ- DR- A-0P305

Revision

8



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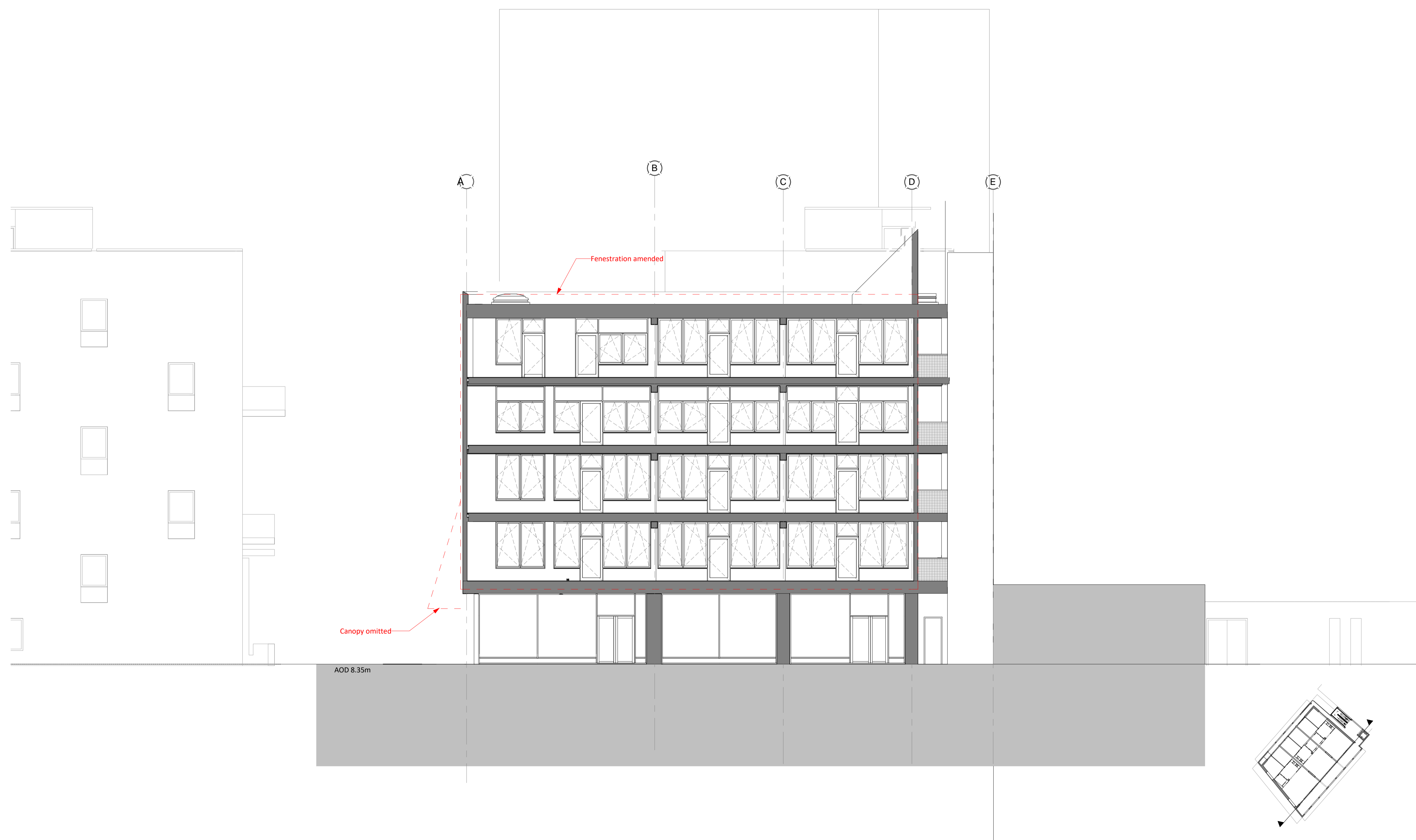
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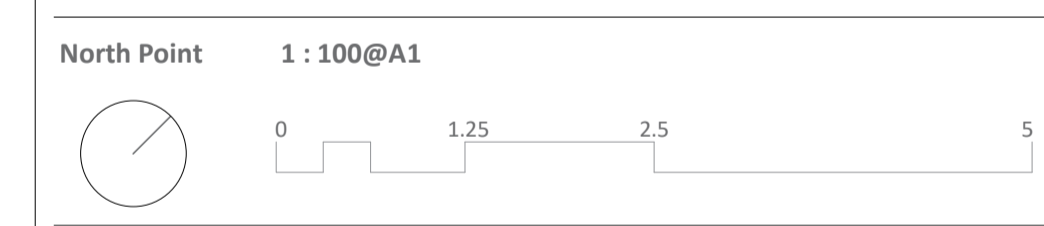
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Notes
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Key Plan



8	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
7	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
6	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
5	External fenestrations amended, notes added	04.06.20	PP	TB
4	External fenestrations amended, canopies revised, height of the building reduced	16/10/19	PP	TB
3	Glass door changed on the Ground Floor and canopy changed from concrete to zinc	11/10/19	PP	TB
P01	Glazing reduced	01/10/19	PP	TB
Rev	Description	Date	Init	Chkd

Project House for Artists 

Title Proposed South Elevation (Walkway-Section6)-Planning

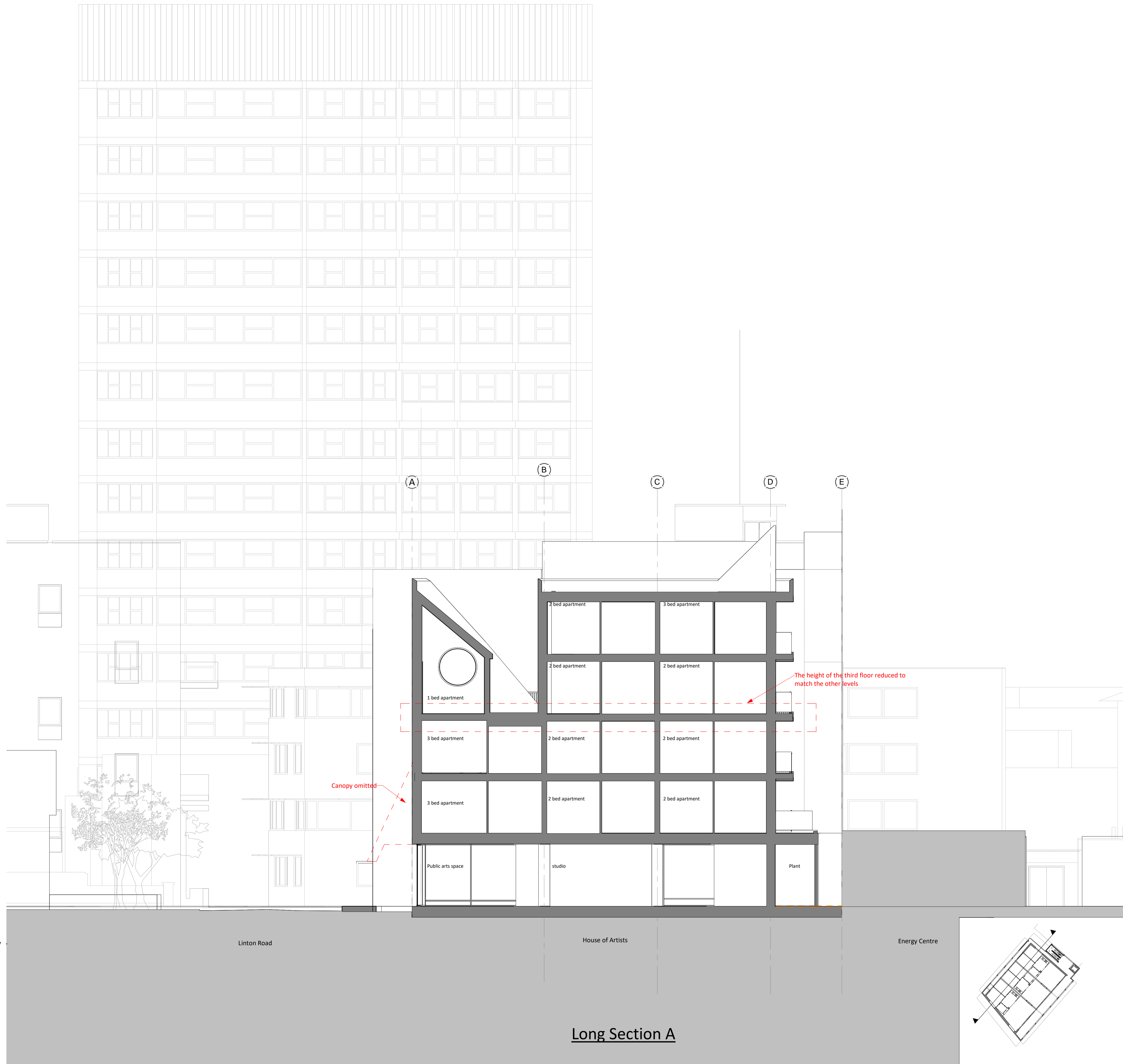
Client J Murphy & Sons **Status** Planning

Date 26/09/2019 **Drawn By** PP **Checked By** TB

Project No. K190158 **Drawing No.** HFA- CFS- ZZ- ZZ- DR- A-0P306 **Revision** 8



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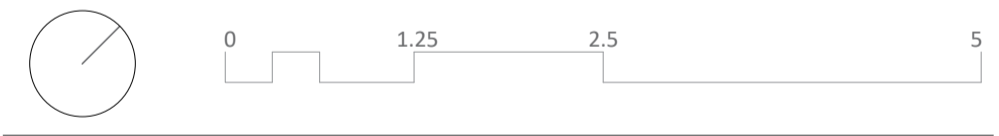


Long Section A

Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.

Key Plan

North Point 1 : 100@A1



Rev	Description	Date	Init	Chkd
6	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
5	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
4	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
3	External fenestration amended, notes added	04.06.20	PP	TB

Project
House for Artists



Title
Proposed Section A- Planning

Client
J Murphy & Sons

Status
Planning

Date 26/09/2019
Drawn By PP

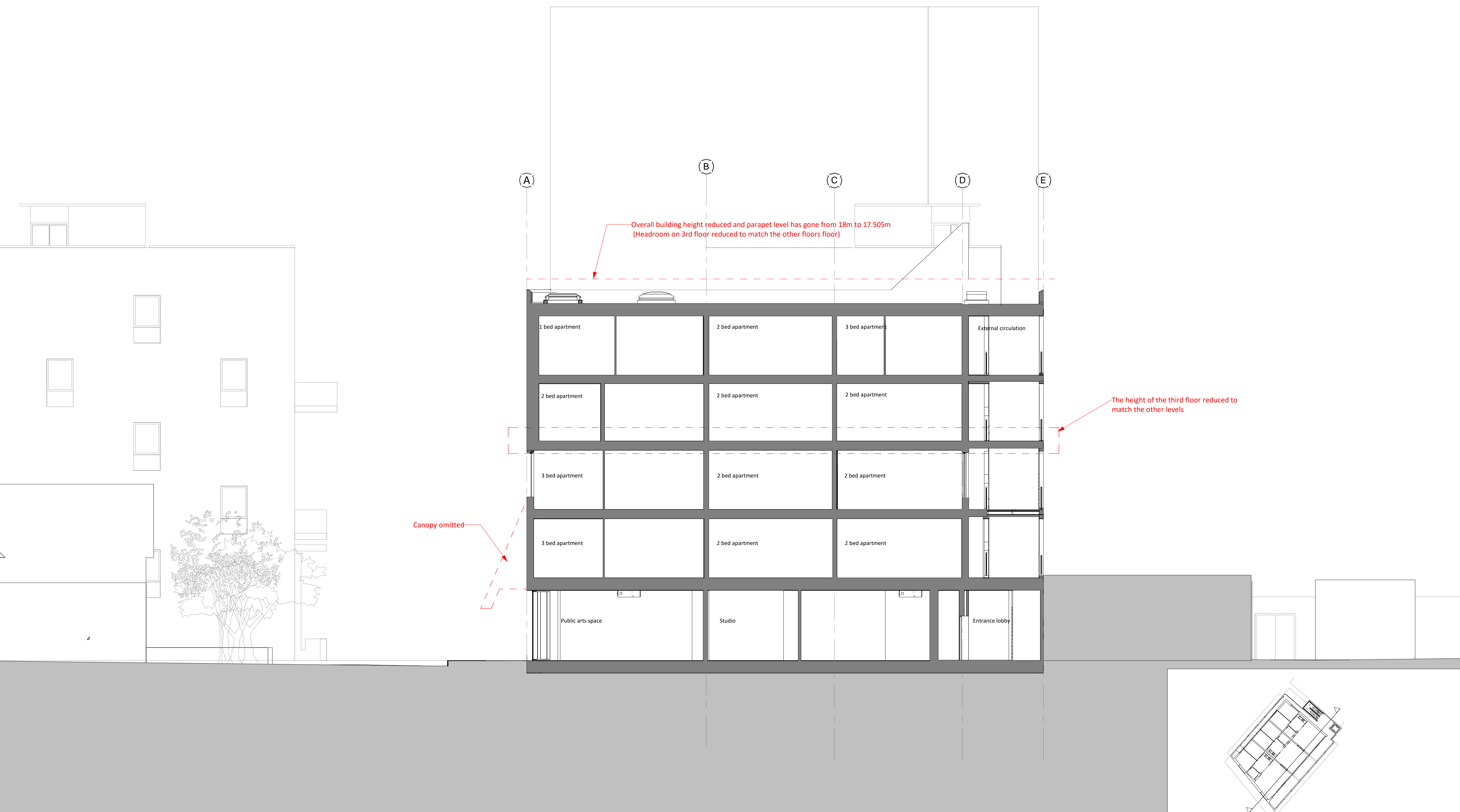
Checked By
TB

Project No. K190158
Drawing No. HFA- CFS- ZZ- ZZ- DR- A-0P307

Revision
6



Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.



Key Plan

North Point 1 : 100@A1



Rev	Description	Date	Init	Chkd
6	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
5	Adjustment to planning drawings highlighted	20.08.2020	PM	TB
4	Drawing updated in line with co-ordination meeting	14.08.2020	PM	TB
3	External fenestration amended, notes added	04.06.20	PP	TB

Project
House for Artists



Title
Proposed Section B- Planning

Client
J Murphy & Sons

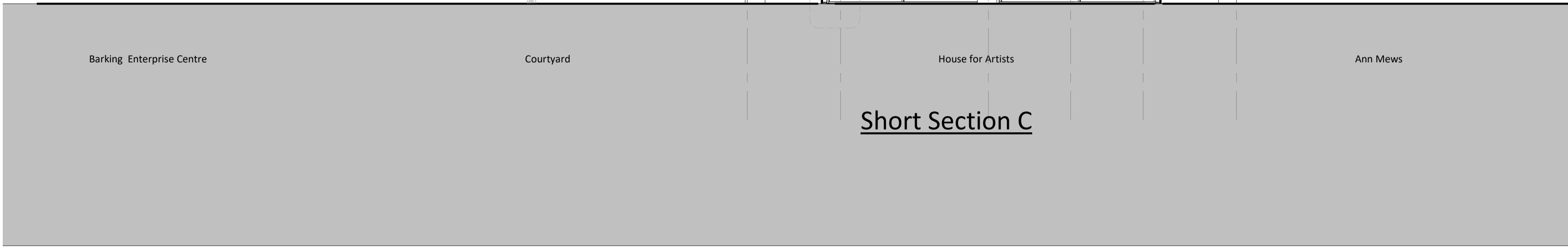
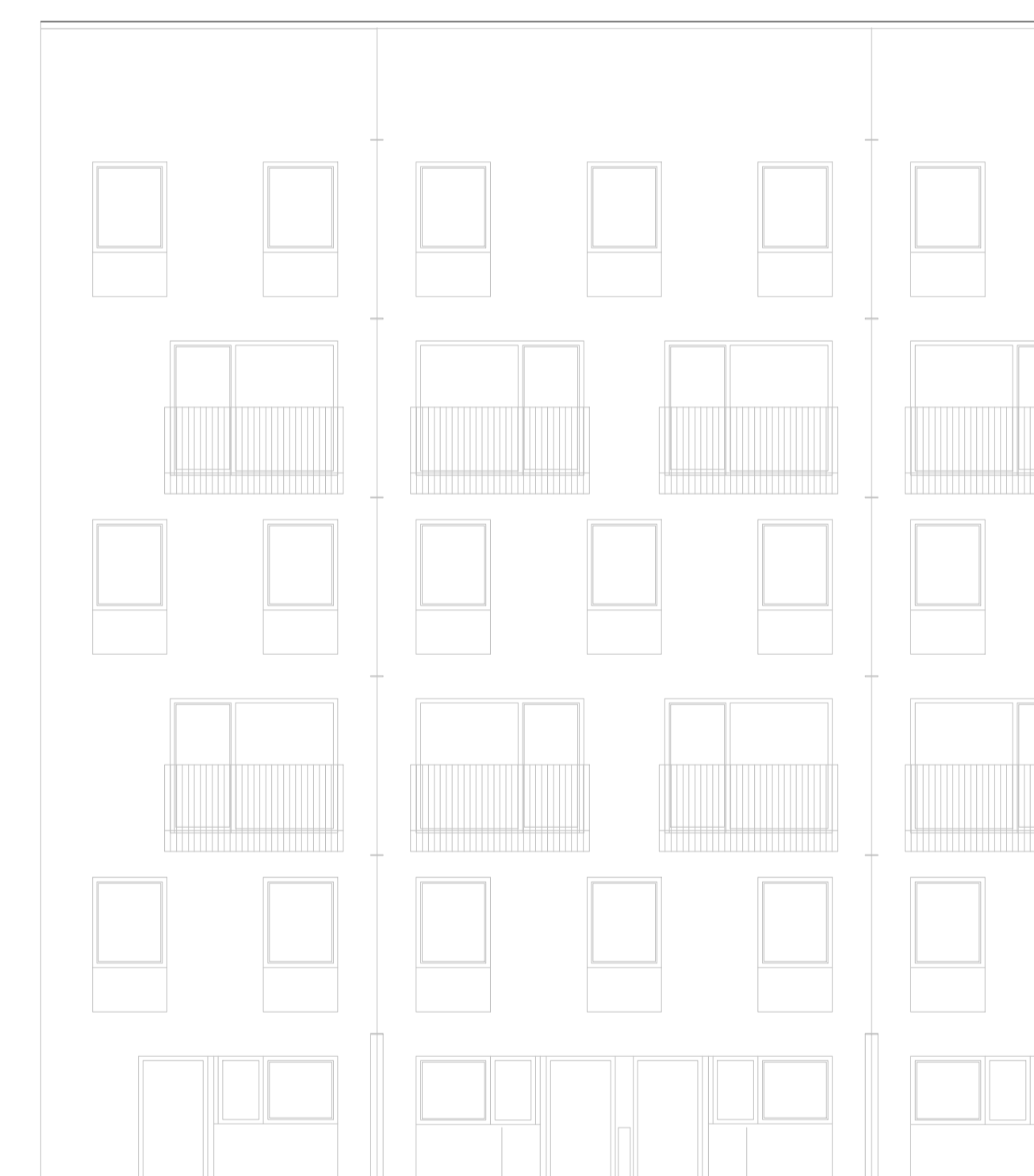
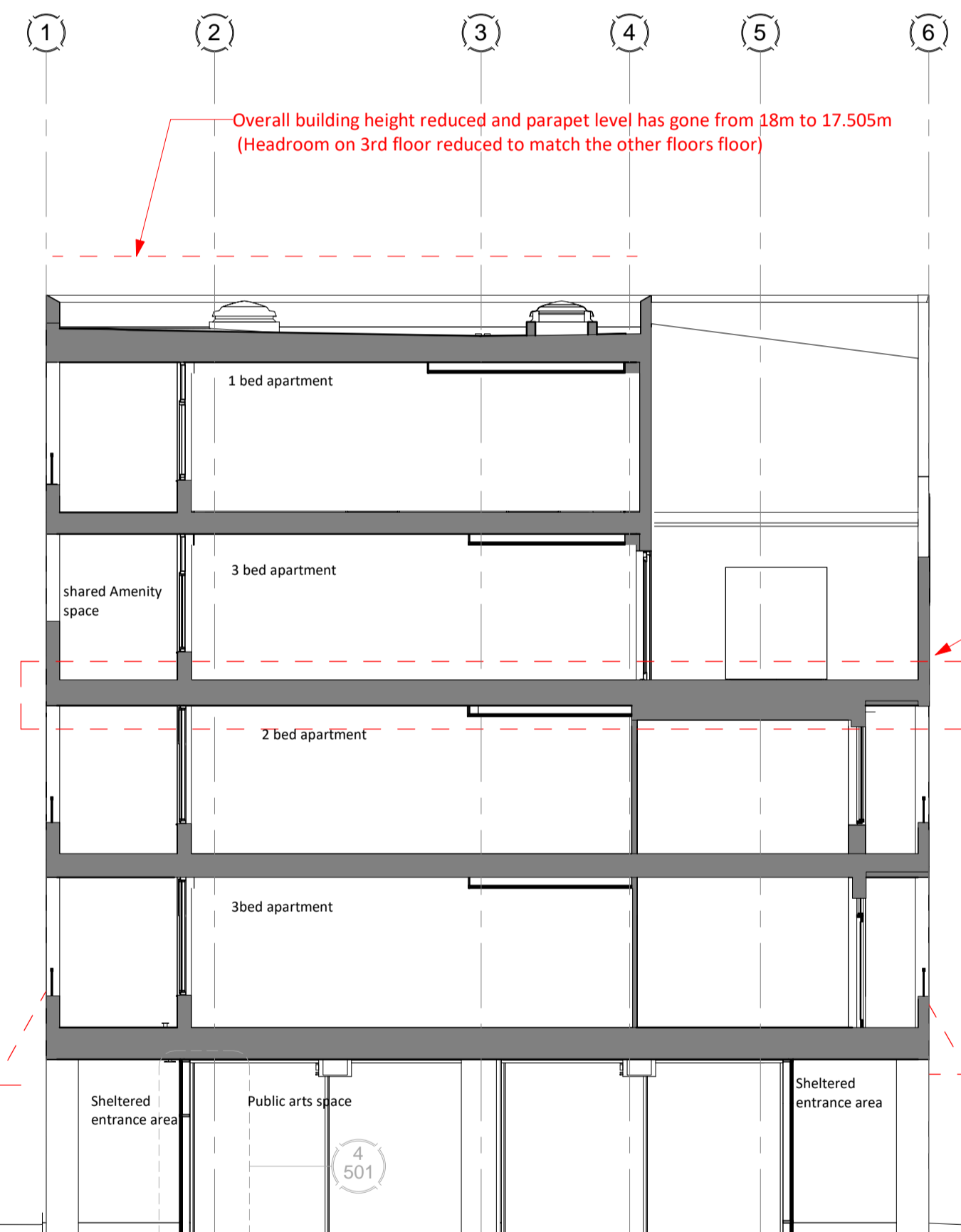
Status
Planning

Date 27/09/2019
Drawn By PP
Checked By TB

Project No. K190158
Drawing No. HFA- CFS- ZZ- ZZ- DR- A-0P308
Revision 6

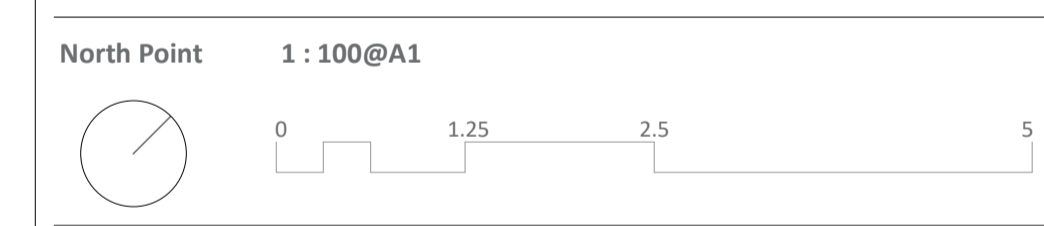


Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.



Short Section C

Key Plan



Rev	Description	Date	Init	Chkd
4	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
3	External fenestration amended, notes added	04.06.20	PP	TB

Project
House for Artists



Title
Proposed Section C-Planning

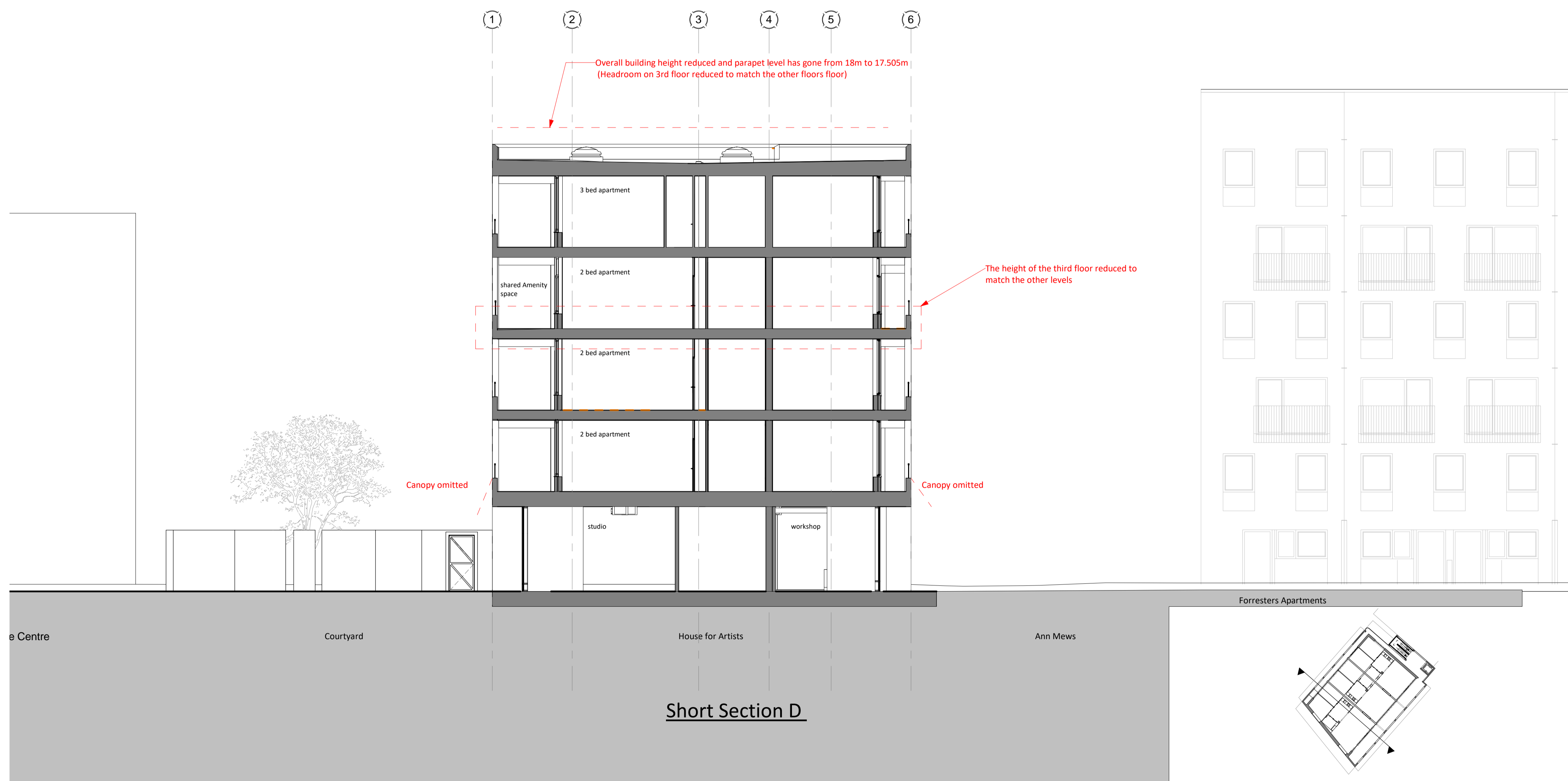
Client
J Murphy & Sons

Date 27/09/2019
Drawn By PP
Checked By TB

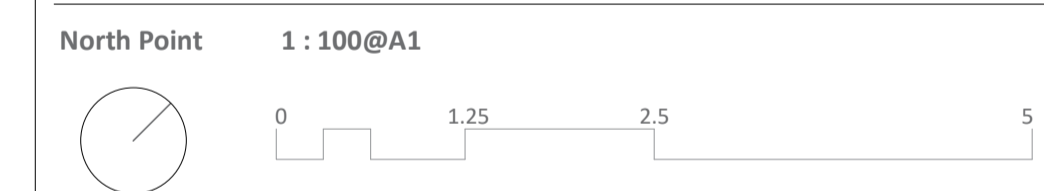
Project No. K190158
Drawing No. HFA- CFS- ZZ- ZZ- DR- A-0P309
Revision 4



Notes
Do not scale from this drawing. All dimensions to be verified by the contractor on site.



Key Plan



Rev	Description	Date	Init	Chkd
4	Drawing updated in line with comments received 07.09.2020	07.09.2020	PM	TB
3	External fenestration amended, notes added	04.06.20	PP	TB

Project
House for Artists



Title
Proposed Section D- Planning

Client
J Murphy & Sons

Status
Planning

Date
27/09/2019

Drawn By
PP

Checked By
TB

Project No.
K190158

Drawing No.
HFA- CFS- ZZ- ZZ- DR- A-0P310

Revision
4

